

City of Oconomowoc Common Council

Tuesday, October 20, 2020 - 7:30 PM
City Hall - Council Chambers



Notice: If a person with a disability requires that the meeting be accessible or that materials at the meeting be in an accessible format, call the City Clerk's office at least 48 hours in advance to request adequate accommodations. Tel: 569-2186

1. Call to Order and Confirmation of Appropriate Meeting Notice

2. Pledge of Allegiance

3. Roll Call

4. Public Hearing

- a. Public Hearing 2021 City Budget
The purpose is to hear public comment on the Proposed 2021 City Budget.

- b. Prairie Creek Ridge Addition #5
The purpose is to hear public comment on the proposed amendment to the City of Oconomowoc Comprehensive Land Use Plan 2050 & rezoning of 31 acres located north of Prairie Crk Rdge Add #2 subdivision, west of Prairie Crk Rdge Add #3 subdivision & south of Whalen Dr. The parcel is identified as tax key #OCOC 0517.996.017 & part of #OCOC 0538.999.020; OCOC 0519.999.004; & OCOC 0517.996.016. The area is designated on the City Comprehensive Land Use Plan as Suburban Residential & zoned Urban Reserve. The request is to amend 21.4 acres of the land use plan to Medium Density Residential & amend the zoning on 9.6 acres of the property to Suburban Residential & 21.4 acres to Residential Multi-Family Low. If the land use plan & zoning map amendments are approved the request is to allow for the construction of approximately 23 single-family homesites & 64 condos.

- c. Street Tree Text Amendment
The purpose is to hear public comment on a text amendment to the City of Oconomowoc Municipal Code to repeal and recreate Section 18.08(2m) subsections (a), (b), & (c) pertaining to the installation of subdivision street trees. The request is specifically to amend the plans that are required, the street tree planting requirements and the payment requirements for said tree installation.

5. Approval of Meeting Minutes

- a. Minutes of September 15, 2020

6. Comments/Suggestions from Citizens

7. Consent Agenda (Items listed under the Consent Agenda are considered in one motion - a Council member may request to remove an item):

- a. Extraterritorial Certified Survey Map Combining Three Lots into One - N55 W37069 Roland Street, Town of Oconomowoc

- b. Treasurer's Report - September 2020

8. Committee Reports

- a. Finance - Rosek, Chr; Ellis, Secy; Spiegelberg

- 1. Consider/act on Budget Amendment for 2020 3rd Quarter Grants/Donations Received - 7/1/20 to 9/30/20

9. Plan Commission

- a. Consider/act on Ordinance 20-O987 to Amend the City of Oconomowoc Comprehensive Land Use Plan 2050 - Prairie Creek Ridge #5 Subdivision
- b. Consider/act on Ordinance 20-O986 to Rezone Lands Suburban Residential District & Residential Multi-Unit Low for Prairie Creek Ridge #5 Subdivision
- c. Consider/act on the Condominium Plat for Village Crossing at Pabst Farms II Addendum #11
- d. Consider/act on the Condominium Plat for Vespera II Addendum #1
- e. Consider/act on Ordinance 20-O985 to Repeal & Recreate Section 18.08(2m) of the City of Oconomowoc Municipal Code Regarding Street Trees

10. Old Business

- a. Presentation/action on Waukesha County Communication Center Capital Expense Buy-In - Ald. Kowieski to Present

11. New Business

- a. Consider/act on Adoption of the 2021 City of Oconomowoc Budget
- b. Consider/act on Setting the 2020 Property Tax Levy for 2021 Budget

12. Mayoral Appointments with Council Confirmation

- a. Mayoral Appointments

13. Staff Reports

14. Reports and Comments from the Aldermen

15. Reports and Comments from the Mayor

- a. Reminder - Next Council Meeting has been Rescheduled to Wednesday, November 4, 2020

16. Adjourn

**CITY OF OCONOMOWOC
PROPOSED BUDGET SUMMARY**

GENERAL FUND SUMMARY BY CATEGORY

The 2020 adopted and 2021 proposed General Fund budgets are as follows:

REVENUES AND OTHER FINANCING SOURCES:	2020 Budget	2021 Budget	Percent Change
Taxes (other than property taxes)	\$ 274,710	\$ 430,000	
Special Assessments	8,500	8,500	
Intergovernmental Revenues	1,772,987	1,816,512	
Licenses and Permits	655,900	640,850	
Fines, Forfeits and Penalties	328,400	328,400	
Public Charges for Services	1,126,323	1,144,075	
Interfund Charges for Services	4,520	4,545	
Miscellaneous Revenues	419,113	274,645	
Total Revenues Excluding Property Taxes	4,590,453	4,647,527	1.2%
General Property Taxes	7,940,342	7,880,027	-0.8%
Other Financing Sources	1,593,600	1,581,000	
Fund Balance Applied	73,754	336,000	
TOTAL REVENUES, OTHER FINANCING SOURCES AND FUND BALANCE APPLIED	\$ 14,198,149	\$ 14,444,554	1.7%
EXPENDITURES:			
General City Government	\$ 1,593,121	\$ 1,636,197	
Public Safety	6,295,079	5,893,320	
Public Works	2,635,606	2,700,290	
Health and Human Services	95,400	97,744	
Library	1,210,697	1,228,427	
Parks and Recreation	1,857,662	1,939,649	
Conservation and Development	510,584	532,927	
Total Expenditures	14,198,149	14,028,554	-1.2%
Other Financing Uses	-	416,000	
TOTAL EXPENDITURES AND OTHER FINANCING USES	\$ 14,198,149	\$ 14,444,554	1.7%

SUMMARY BY FUND

The 2021 proposed budgets for all funds combined:

	Fund Balance January 1	Total Revenues	Total Expend	Fund Balance December 31	Property Tax Contribution	
					2020 Budget	2021 Budget
General Fund	\$9,541,431	\$14,108,554	\$14,444,554	\$9,205,431	\$7,940,342	\$7,880,027
Ambulance Special Revenue Fund	434,860	500	100,000	335,360		
Garbage and Refuse Special Revenue Fund	336,618	1,000,100	1,015,818	320,899		
Park Land Funds	-	-	-	-		
Woodcreek Stormwater Fund	96,059	7,950	14,886	89,123		
Concert Series Fund	-	-	-	-		
River Watershed	-	421,581	421,581	-		
Transportation Facilities Impact Fee Fund	(1,174,495)	74,800	-	(1,099,695)		
Law Enforcement Facilities Impact Fee Fund	57,353	71,600	22,208	106,745		
Fire & EMS Facilities Impact Fee Fund	-	-	-	-		
Park & Recreation Facilities Impact Fee Fund	(1,352,223)	316,400	14,000	(1,049,823)		
Community Development Authority	40,792	400	-	41,192		
Tourism Fund	23,846	161,950	195,124	(9,328)		
Debt Service Fund	381,192	2,448,640	2,385,740	444,092	1,831,598	2,344,554
T.I.D. #4 Capital Projects Fund	(1,609,680)	628,897	35,369	(1,016,152)		
T.I.D. #5 Capital Projects Fund	69,978	644,645	536,598	178,025		
T.I.D. #6 Capital Projects Fund	(1,025,881)	440,988	383,572	(968,465)		
Capital Improvements Fund	3,702,658	3,085,057	7,001,157	(213,442)	2,107,403	2,480,157
Wastewater Utility	61,158,077	5,527,300	4,486,621	62,198,756		
Water Utility	35,672,445	4,332,945	3,664,733	36,340,657		
Electric Utility	46,806,646	24,351,935	23,298,833	47,859,748		
Technology Internal Service Fund	837,290	869,070	869,003	837,357		
Risk Management Internal Service Fund	496,716	549,135	547,400	498,451		
Fleet Maintenance Internal Service Fund	424,309	506,090	505,675	424,724		
Total All Funds	\$154,917,991	\$59,548,537	\$59,942,872	\$154,523,655	\$11,879,343	\$12,704,738
Percent Change				-0.3%		6.9%

	2020	2021	\$ Change	% Change
Estimated Equalized Value Property Tax Rate	\$4.98	\$4.97	-\$0.01	-0.2%
Estimated Assessed Value Property Tax Rate	\$5.73	\$6.01	\$0.28	4.9%

The City's outstanding debt at December 31, 2020 is projected to be:

General Obligation Notes and Bonds	\$28,179,632
Unsecured Debt	-
Mortgage Revenue Bonds	-
Utility Revenue Bonds	-
Total Debt	\$28,179,632

City of Oconomowoc Common Council Meeting Minutes September 15, 2020 - 7:30 PM



Aldermen Present: Matt Mulder, Charles Schellpeper, Lou Kowieski, Andy Rogers, Matt Rosek, John Zapfel, Kevin Ellis, Karen Spiegelberg
Also Present: Robert Magnus, Stan Riffle, Betsy Bleck, James Pfister, Diane Coenen, Robert Duffy, Mark Frye, Jason Gallo, Laurie Sullivan, Tony Posnik, Ivan Lam

Mayor Magnus called the Common Council Meeting to order at 7:42 PM.

Call to Order and Confirmation of Appropriate Meeting Notice

Pledge of Allegiance

Roll Call

Public Hearing

a. Public Hearing - Household Living

The purpose of the hearing is to hear public comment on the Zoning Ordinance Text Amendment application filed by the City of Oconomowoc to amend Section 17.903(1)(a) of the Municipal Ordinance pertaining to the definition of "Household Living." The specific request is to amend the definition by removing "Tenancy is arranged on a month-to-month or longer basis, with a minimum of 30-days." A change in State Law requires that municipalities allow short-term rentals for less than 30-days. This amendment would remove a conflict in the City Zoning Code with the State Statutes.

The hearing opened at 7:43 PM. Gallo reported this code revision would amend the definition of household living to bring the City's code into compliance with Wisconsin State Statutes. No other comments were received. The hearing closed at 7:46 PM.

Approval of Meeting Minutes

a. Minutes of August 18, 2020

Motion to approve the Council minutes of August 18, 2020 as presented made by Ellis and seconded by Kowieski.
Motion carried 8-0-0.

Consent Agenda (Items listed under the Consent Agenda are considered in one motion - a Council member may request to remove an item):

Motion to remove Item d. from the Consent Agenda made by Rosek and seconded by Spiegelberg.
Motion carried 8-0-0.

Council discussed the last section about preparing the necessary documents, acquiring lands and implementing necessary improvements infrastructure to support future redevelopment of the area and felt that it is not clear that whatever decisions the CDA will make will be brought back to Council. Motion to amend the resolution to replace language in the last section to read as follows: Any acquisition of land, infrastructure, improvements, the entering of contracts or MOU's or other redevelopment plans must be approved by the Common Council made by Rosek and seconded by Spiegelberg.

Motion carried 6-0-2. Voted no: Schellpeper, Rogers.

Motion to adopt the Resolution Authorizing the Community Development Authority to Establish Boundaries, Develop Redevelopment Plan and Designate the Olympia Fields Area Blighted and In Need of Redevelopment as amended made by Kowieski and seconded by Rosek.

Motion carried 6-0-2. Voted no: Schellpeper, Rogers.

Motion to approve the consent agenda Items a.- c. and e. - i. made by Rosek and seconded by Rogers.

Motion carried 6-0-2. Voted no: Schellpeper, Rogers.

- a. **Licenses**
- b. **Resolution 20-R2889 to Change Polling Locations for Aldermanic Districts #1 & #3**
- c. **Electric Utility Easement Agreement Between the City and McGee Hicks (413 W 2nd St)**
- d. **Resolution Authorizing the Community Development Authority to Establish Boundaries, Develop Redevelopment Plan and Designate the Olympia Fields Area Blighted and In Need of Redevelopment**
- e. **Sanitary Sewer & Water Utility Easement Agreement Between City of Oconomowoc and Belforte, Inc (Vespara II St. Andrews Dr)**
- f. **Water Utility Easement Agreement Between City of Oconomowoc and Wisconsin Electric Power Company (Oconomowoc Pkwy & St. Andrews Dr)**
- g. **Extraterritorial Certified Survey Map to Create Two Buildable Lots Adjacent to W340 N7661 Townline Road, Town of Oconomowoc**
- h. **Extraterritorial Certified Survey Map to Create Two Residential Lots Adjacent to W340 N7661 Townline Road, Town of Oconomowoc**
- i. **Treasurer's Report and Financials - August 2020**

Committee Reports

- a. **Finance - Rosek, Chr; Ellis, Secy; Spiegelberg**
 - 1. **Consider/act on Resolution 20-R2891 Approving a Two-Year Contract Extension with Baker Tilly, LLP for Audit Services**

Motion to adopt Resolution 20-R2891 approving a two-year contract extension with Baker Tilly, LLP for audit services made by Rosek and seconded by Ellis.
Motion carried 8-0-0.
 - 2. **Consider/act on Amending Ordinance 86-O170 of the City of Oconomowoc Municipal Code Regarding Room Tax - 1st Reading**

Motion to give the ordinance its first reading made by Kowieski and seconded by Schellpeper.
Motion carried 7-0-1. Voted no: Rosek.
- b. **Public Services - Ellis, Chr; Rosek, Secy; Mulder**
 - 1. **Consider/act on Resolution 20-R2890 Awarding Collins Parking Lot Construction Management Services**

Motion to adopt Resolution 20-R2890 awarding Collins Parking Lot Construction Management Services made by Schellpeper and seconded by Mulder.
Motion carried 8-0-0.

Plan Commission

- a. **Consider/act on Zoning Ordinance Text Amendment to Repeal & Recreate Section 17.903(1)(a) Relating to the Definition of Household Living - 1st Reading**
Motion to give the ordinance its first reading and waive the second reading made by Kowieski and seconded by Rosek.
Motion carried 8-0-0.
- b. **Consider/act on the Certified Survey Map for the Hackney House Apartments Located on the North Side of Valley Road, West of Summit School**
Motion to approve the CSM for the Hackney House Apartments located on the north side of Valley Road, west of Summit School made by Kowieski and seconded by Rosek.
Motion carried 8-0-0.

New Business

- a. **Consider/act on the 2021-2023 Union Contract between the City of Oconomowoc and the Wisconsin Professional Police Association (WPPA)**
Motion to approve the 2021-2023 Union Contract between the City of Oconomowoc and the Wisconsin Professional Police Association made by Rosek and seconded by Zapfel.
Motion carried 8-0-0.
- b. **Consider/act on Lease Agreement Between the City of Oconomowoc and Lake Country Municipal Court (630 E. Wisconsin Avenue)**
Motion to approve the Lease Agreement between the City of Oconomowoc and Lake Country Municipal Court (630 E. Wisconsin Avenue) and amend item 2.a. to be an additional four days per month upon approval of the Police Chief made by Kowieski and seconded by Ellis.
Motion carried 6-0-2. Voted no: Rogers, Rosek.
- c. **Consider/act on City Administrator Agreement on Separation Procedures/Payments and Confirm Appointment of New City Administrator**
Motion to approve the City Administrator Agreement on Separation Procedures/Payments and Confirm Appointment of New City Administrator made by Ellis and seconded by Kowieski.
Motion carried 8-0-0.

Reports and Comments from the Aldermen

Kowieski reported on the activities during Suicide Prevention week stating the concert was moved to Sunday along with prayer service. He gave many thanks to all providers to the event and stated the activities reached over 45,000 people. Rogers asked who is responsible for sidewalk cleanup regarding gum. Frye stated staff will discuss. Zapfel thanked Kowieski for coordination of the event, welcomed Matt & Lisa Trebatoski to City and thanked Mayor for donating his time to the community. Schellpeper agreed with Zapfel and asked Coenen to give an election update on absentees at the Oct 6th Council meeting.

Reports and Comments from the Mayor

Mayor recognized that elections keep changing and there are challenges and thanked the Clerk and staff for their hard work. He welcomed Matt & Lisa Trebatoski to community.

Adjourn

Motion to adjourn made by Kowieski and seconded by Mulder.
The meeting adjourned at 8:51 PM.
Motion carried 8-0-0.

Diane Coenen, City Clerk
City of Oconomowoc

Planning Staff Report

City of Oconomowoc

Roland Street Land Combination

Plan Commission – 10/14/2020

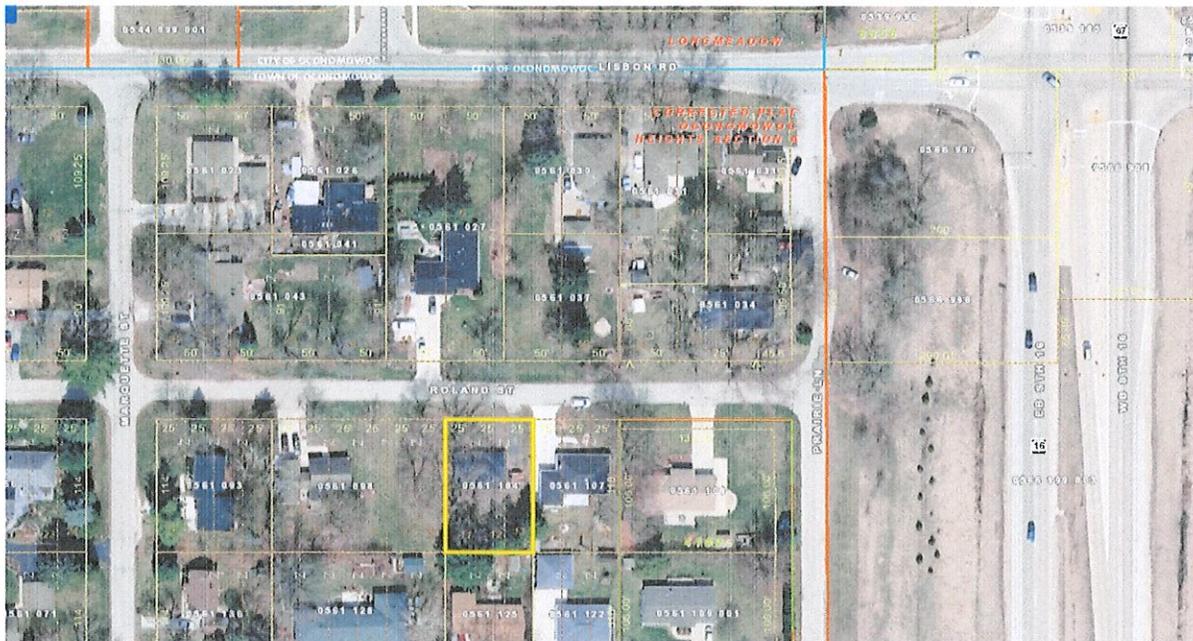
Certified Survey Map – Combine three lots into one

Summary: The applicant submitted a certified survey map to combine three lots into one at N55 W37069 Roland Street. This area falls within the City's extraterritorial platting review authority in the Town of Oconomowoc, so therefore both the Plan Commission & Common Council must review and act on the document.

Property Location: N55 W37069 Roland Street, Town of Oconomowoc

Property Owners: Application
Ryans Buying LLC
PO Box 486
Mukwonago, WI 53149

Waukesha County GIS
US Bank Trust NA
3630 Peachtree Rd NE Ste 1500
Atlanta, GA 30326-1598



General Location Map

The subject property is less than three (3) miles from the City of Oconomowoc Boundary, therefore falls within the City's extraterritorial platting jurisdiction area. The blue line of the above map identifies the City/Town Boundary. The parcel is approximately 300 linear feet south of City lands along Lisbon Road.

CSM Review:

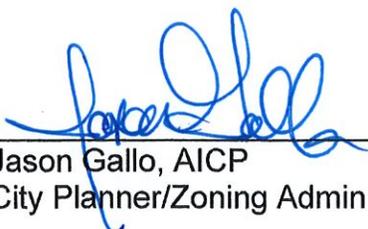
The applicant was asked to combine three 25' slivers of land into one 75' wide parcel. This is being asked for by Waukesha County and the Town. When Oconomowoc Heights Subdivision was originally platted, it was divided into 25' wide pieces of land, in which people could purchase 3 or 4 of these areas for their home construction. The three lots in this area that are to be combined are lots 11, 12 and 13 of Block 4D of Oconomowoc Heights Subdivision. Over time it has been the policy when there is work being proposed on these lots, to formally combine these 25' slivers into one lot via a CSM document.

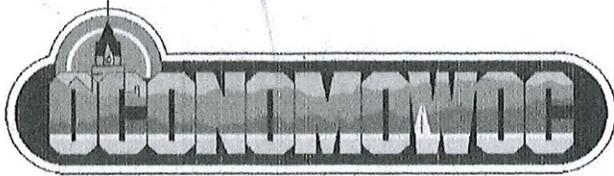


Final Thoughts:

The only concern with the CSM document is the signature block for the City Common Council is not listed on the document. Planning staff informed the applicant that the signature block for this approving body needs to be added to Sheet 4 of 4.

Staff Recommendation: Plan Commission forward the Roland Street CSM at N55 W37069 Roland Street to the Common Council with a **recommendation to approve** the application.

Submitted by: 
Jason Gallo, AICP
City Planner/Zoning Administrator



STAFF RECOMMENDATION FORM

TYPE OF REQUEST: **EXTRATERRITORIAL
CERTIFIED SURVEY MAP**

PROJECT NAME: **ROLAND STREET LAND COMBINATION**

TAX KEY NO.: **TOWN OF OCONOMOWOC**

PROJECT ADDRESS/LOCATION: **N55 W37069 ROLAND STREET**

RECOMMENDATION SIGNATURES

CITY PLANNER: *[Signature]* Date: **9-25-20**
Comments:

CITY ENGINEER: *[Signature]* Date: **10/2/2020**
Comments: **NO TECHNICAL REVIEW**

DIRECTOR OF PUBLIC WORKS: *[Signature]* Date: **10.06.20**
Comments:

WASTEWATER: *[Signature]* Date: **10-5-2020**
Comments:

WATER: *[Signature]* Date: **10-6-20**
Comments:

ELECTRIC: *[Signature]* Date: **10-6-20**
Comments:

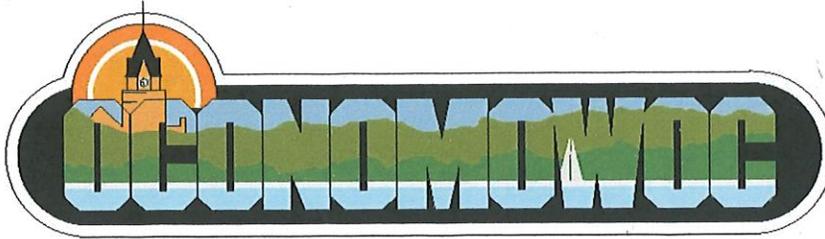
PARKS, RECREATION & FORESTRY: *[Signature]* Date: **9-28-20**
Comments:

POLICE CHIEF: *[Signature]* Date: **10-6-20**
Comments:

FIRE: *[Signature]* Date: **10-5-20**
Comments:

DIRECTOR OF FINANCE: *[Signature]* Date: **10/6/2020**
Comments:

ECONOMIC DEVELOPMENT DIRECTOR: *[Signature]* Date: **10/6/20**
Comments:



Development Application

Department of City Planning
 174 E. Wisconsin Avenue Oconomowoc, WI
 www.oconomowoc-wi.gov | 262.569.2166

X	Description	Administrative Fee
	Administrative Design Review	\$ 75.00
	Major Design Review	\$ 75.00
	Conditional Use Permit	\$ 500.00
	Zoning Determination Letter	\$ 100.00
	Temporary Use Permit	\$ 75.00
	Temporary Use Permit - Renewal	No Charge
	Variance	\$ 425.00
	Special Exceptions	\$ 425.00
	Appeals of Zoning Administrator	\$ 300.00
	Zoning Map Amendment (From _____ To _____)	\$ 425.00
	Zoning Text Amendment	\$ 425.00
	Comprehensive Plan Amendment	\$ 300.00
	Planned Development District	Step 1: Pre-application Conference
		Step 2: Concept Plan Review
		Step 3: General Development Plan Review
	Preliminary or Final Plat Review	\$ 75.00
✓	Certified Survey Map or Extraterritorial Plat/CSM Review	\$ 75.00

***NOTE:** Administrative filing fees are due at the time an application is filed with the City Clerk's Office and are not refundable. In addition to the Administrative fees, City Staff time (City Engineer, City Planner & City Attorney) will be charged back to the applicant. The Applicant will receive monthly invoices of payments due.

Date: 9-10-20

Project/Business Name: Roland CSM

Address/Location: N55W37069 Roland St

City, State, Zip Code: Oconomowoc WI 53066

Proposed Use of Property: Res Single FAM

Applicant: Ryans Buying LLC

Property Owner: Same as Applicant

Address: PO BOX 486

Address:

City/State/Zip Mukwonago WI 53149

City/State/Zip:

Phone: 414-736-3066

Phone:

E-mail: ryan@ryansbuying.com

E-mail:

Signature:

Signature:

This form is not valid unless signed by Owner or Agent under a written power-of-attorney (please provide). I, Owner/one of the Owner's of the property, declare that this application (including any accompanying documents) has been examined by me and to the best of my knowledge and belief is true, correct and complete. I further accept all liability, which may be a result of the City of Oconomowoc relying on this information I am providing in this application.

EXPLANATION OF PROJECT.

We are combining 3 - 25' parcels into one with a CSM. The original house was razed and we will be building a new one.

PRELIMINARY

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

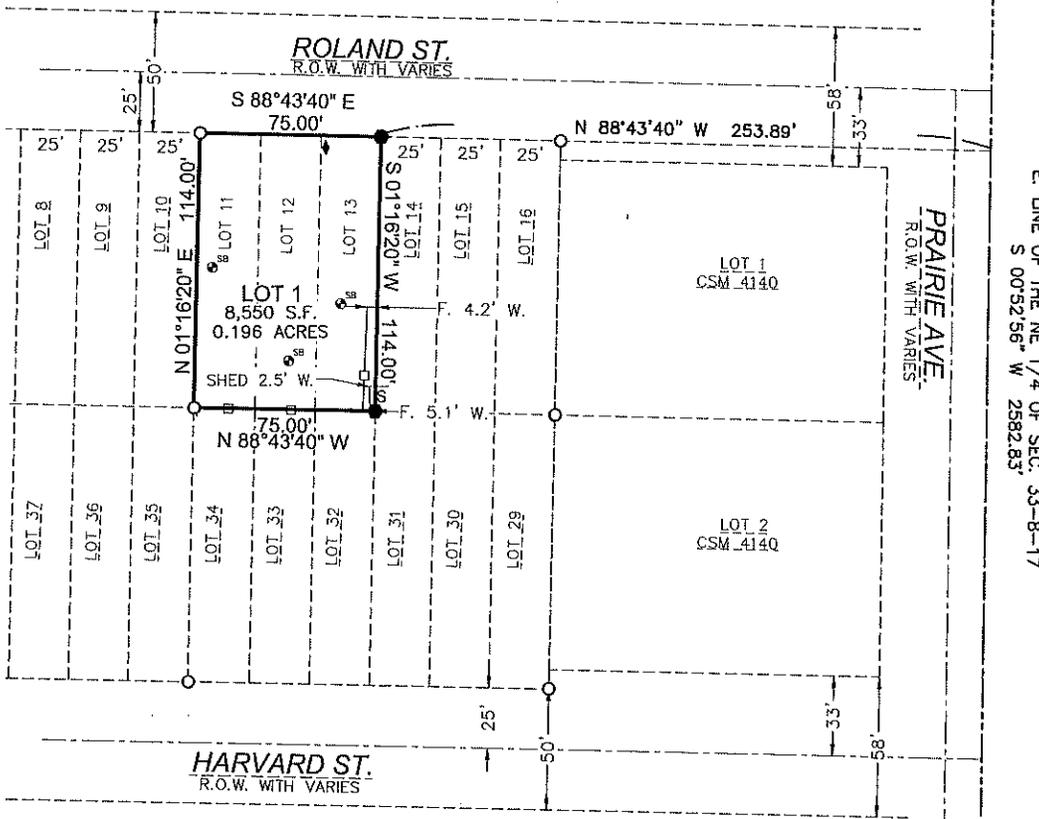
ALL OF LOTS 11, 12, & 13, BLOCK 4D IN CORRECTED PLAT OF OCONOMOWOC HEIGHTS SUBDIVISION, BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 33, TOWNSHIP 8 NORTH, RANGE 17 EAST, IN THE TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.

VICINITY MAP



NE 1/4 SEC. 33-8-17
1"=2640'

NE CORNER
SECTION 33-8-17
CONC. MON. W/ SEWRPC
BRASS CAP FND.



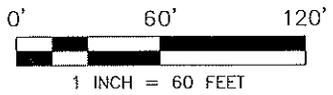
E. LINE OF THE NE 1/4 OF SEC. 33-8-17
S 00°52'56" W 2582.83'

• SEE SHEET 2 FOR NOTES & LEGEND.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE EAST LINE OF THE NE 1/4 OF SEC. 33-8-17 MEASURED AS S00°52'56"W.

E 1/4 CORNER
SECTION 33-8-17
CONC. MON. W/ SEWRPC
BRASS CAP FND.



LAND SURVEYING • LAND PLANNING
111 W. 2ND STREET
OCONOMOWOC, WI 53066
WWW.LANDTECHWI.COM
(262) 367-7599

PREPARED FOR:
RYAN'S BUYING, LLC.
N55W37069 ROLAND ST.
OCONOMOWOC, WI 53066

DATED 09/09/2020
JOB# 20198
SHEET 1 OF 4

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'Rourke, S-2771

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

ALL OF LOTS 11, 12, & 13, BLOCK 4D IN CORRECTED PLAT OF OCONOMOWOC HEIGHTS SUBDIVISION, BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 33, TOWNSHIP 8 NORTH, RANGE 17 EAST, IN THE TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING ALL OF LOTS 11, 12, & 13, BLOCK 4D IN CORRECTED PLAT OF OCONOMOWOC HEIGHTS SUBDIVISION, BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 33, TOWNSHIP 8 NORTH, RANGE 17 EAST, IN THE TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN; DESCRIBED AS FOLLOWS:

COMMENCING AT THE NE CORNER OF SECTION 33 TOWNSHIP 8 NORTH, RANGE 17 EAST; THENCE S 00°52'56" W, ALONG THE EAST LINE OF THE NE 1/4 OF SAID SECTION, 301.10 FEET; THENCE N 88°43'40" W, 253.89 FEET TO THE NORTHWEST CORNER OF LOT 14 BLOCK 4D OF THE CORRECTED PLAT OF OCONOMOWOC HEIGHTS SUBDIVISION, ALSO BEING THE POINT OF BEGINNING; THENCE S 01°16'20" W, ALONG THE WEST LINE OF SAID LOT 14, 114.00 FEET TO THE NORTH EAST CORNER OF LOT 32, BLOCK 4D OF SAID SUBDIVISION; THENCE N 88°43'40" W, ALONG THE NORTH LINE OF LOTS 32, 33 AND 34 BLOCK 4D, 75.00 FEET TO THE SOUTHEAST CORNER OF LOT 10 BLOCK 4D OF SAID SUBDIVISION; THENCE N 01°16'20" E, ALONG THE EAST LINE OF LOT 10, 114.00 FEET, TO THE SOUTH RIGHT OF WAY OF ROLAND STREET; THENCE S 88°43'40" E, ALONG THE SOUTH RIGHT OF WAY OF ROLAND STREET, 75.00 FEET TO THE POINT OF BEGINNING.

LANDS AS DESCRIBED HAVING AN AREA OF 8,550 SQUARE FEET OR 0.196 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF RYAN'S BUYING, LLC OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF THE TOWN OF OCONOMOWOC IN SURVEYING, AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20_____.

MATTHEW T. O'ROURKE, S-2771

LEGEND

-  SECTION CORNER MONUMENT
-  FOUND 1" IRON PIPE OR NOTED
-  SET 0.75" O.D. X 18" REBAR
-  SOIL TEST
-  WOOD FENCE
-  EXISTING DRIVEWAY LOCATION

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

ALL OF LOTS 11, 12, & 13, BLOCK 4D IN CORRECTED PLAT OF OCONOMOWOC HEIGHTS SUBDIVISION,
BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 33, TOWNSHIP 8 NORTH, RANGE 17 EAST,
IN THE TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

RYAN'S BUYING, LLC, A WISCONSIN LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID LLC CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS PLAT. RYAN'S BUYING, LLC, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: TOWN OF OCONOMOWOC, CITY OF OCONOMOWOC (EXTRATERRITORIAL) IN WITNESS WHEREOF, THE SAID RYAN'S BUYING, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY: RYAN JANSSEN, MEMBER, AT _____ WISCONSIN, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED ON THIS _____, DAY OF _____, 20_____.

IN THE PRESENCE OF:

RYAN JANSSEN, MEMBER

CORPORATE OWNER'S NOTARY CERTIFICATE

STATE OF _____)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, RYAN JANSSEN, MEMBER OF THE ABOVE NAMED LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH MEMBER OF SAID LLC, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH MEMBER AS THE DEED OF SAID LLC, BY ITS AUTHORITY.

(NOTARY SEAL) _____ WISCONSIN

NOTARY PUBLIC, _____

MY COMMISSION EXPIRES _____

WAUKESHA CO. CERTIFIED SURVEY MAP NO. _____

ALL OF LOTS 11, 12, & 13, BLOCK 4D IN CORRECTED PLAT OF OCONOMOWOC HEIGHTS SUBDIVISION,
BEING A PART OF THE NE 1/4 OF THE NE 1/4 OF SECTION 33, TOWNSHIP 8 NORTH, RANGE 17 EAST,
IN THE TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.

TOWN PLAN OF OCONOMOWOC COMMISSION APPROVAL

APPROVED BY THE PLAN COMMISSION OF THE TOWN OF OCONOMOWOC, THIS ____ DAY OF _____, 20____.

ROBERT B. PEREGRINE – CHAIRPERSON

TOWN BOARD OF OCONOMOWOC APPROVAL

APPROVED BY THE TOWN BOARD OF THE TOWN OF OCONOMOWOC, THIS ____ DAY OF _____, 20____.

ROBERT C. HULTQUIST – CHAIRPERSON

LORI OPITZ – CLERK

CITY OF OCONOMOWOC PLANNING COMMISSION (EXTRATERRITORIAL)

THIS LAND DIVISION IS HEREBY APPROVED BY THE CITY OF OCONOMOWOC PLAN COMMISSION THIS
____ DAY OF _____, 20____.

ROBERT MAGNUS, MAYOR

DIANE COENEN, CITY CLERK

**City of Oconomowoc - Treasurer's Report
Cash & Investments
September 30, 2020**

CASH & INVESTMENTS

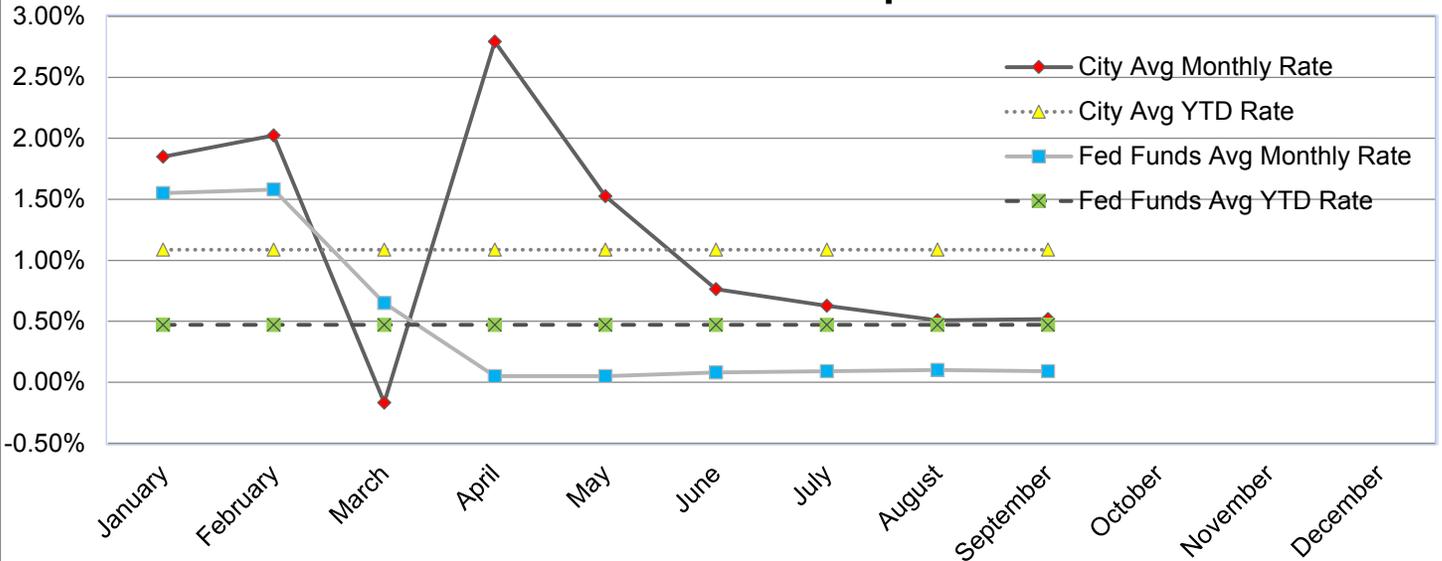
	Total	% of Portfolio	
State of Wisconsin LGIP	\$ 2,150,314.80	3.3%	
PMA Financial Network	36,778,607.98	55.6%	
DANA Investments	5,593,069.89	8.5%	
Certificates of Deposit	750,000.00	1.1%	
Checking/Municipal Sweep	13,596,272.04	20.6%	
Other ⁽¹⁾	36,444.96	0.1%	(1) Includes Library Trust Fund, Ambulance Billing
Internal Advances	7,266,833.89	11.0%	
Total	\$ 66,171,543.56	100.0%	

INTEREST REVENUE

	September Interest	YTD Interest	Average YTD Rate
State of Wisconsin LGIP	\$ 118.26	7,841.35	0.57%
Checking & Related Accts	1,949.71	76,141.57	0.82%
Other Investments	17,758.27	379,559.06	1.15%
Internal Advances	8,898.44	92,189.91	1.73%
Total	\$ 28,724.68	555,731.89	1.09%

Benchmark - Fed Funds 0.47%
 Benchmark - 6 Month Treasury Bill 0.47%

2020 Interest Rate Comparison



City of Oconomowoc - Treasurer's Report
Checking Account Transactions
September 30, 2020

RECEIPTS

	Combined Checking
Cash Balance as of September 1	\$ 11,559,044.31
Utility Payments	\$ 3,241,242.00
517 Donations	358,664.00
Herro Revocable Trust - 525 Park	100,000.00
Impact Fees	74,584.00
Waukesha County Community Foundation	70,000.00
Recreational Enrollment Fees	38,006.15
Building / Electric/ Plumbing Permits	31,877.50
Town of Oconomowoc - Sanitary District	29,435.97
Municipal Court Fines/Rent	27,893.49
Town of Oconomowoc	27,563.89
Fred's Sanitary Service	25,068.38
Town of Ixonia - Sanitary District	13,881.10
State of Wisconsin	12,699.30
Dartmoor Investments	11,947.81
Room Tax	9,055.41
Miscellaneous Receipts	44,408.15
Total Receipts	\$ 4,116,327.15

DISBURSEMENTS

	Combined Checking
WPPI	\$ 1,887,050.08
Camosy Incorporated	493,738.00
Federal & FICA Payroll Taxes	280,067.01
Department of Employee Trust Funds	185,403.08
Pcard	129,903.02
Resco	125,926.94
WI Sales Tax Payment	105,393.75
Complete Office Of Wisconsin Inc	103,031.49
WI Retirement	99,194.59
Parking Lot Maintenance Inc	99,086.00
John's Disposal Service Inc	64,691.05
Lumos Holding Us Acquisition Co	53,551.02
State Withholding	36,507.52
Stuart C Irby Co	34,034.09
State of WI - Deferred Comp	33,442.50
R&R Insurance Services Inc	25,015.00
Miscellaneous Disbursements	474,197.18
Total Disbursements	\$ 4,230,232.32
Payrolls	\$ 478,770.12
P-Card Paid from PMA	\$ (129,903.02)
General Checking Account Balance as of September 30	\$ 13,596,272.04



Balance

Fund: 100 - GENERAL FUND

Assets

110 - CASH AND INVESTMENTS	11,944,434.43	
120 - TAXES AND RELATED RECEIVABLES	5,550.97	
130 - ACCOUNTS RECEIVABLE	253,254.90	
140 - SPECIAL ASSESSMENT RECEIVABLE	30,848.97	
150 - INTEREST RECEIVABLE	136,420.72	
160 - DUE FROM OTHER FUNDS	279,250.00	
181 - PREPAID ITEMS	3,448.40	
Total Assets:	12,653,208.39	<u>12,653,208.39</u>

Liability

210 - ACCOUNTS PAYABLE	6,783.33	
220 - ACCRUED LIABILITIES	139,804.62	
230 - DEPOSITS	370,487.91	
240 - DUE TO OTHER GOVERNMENTS	70,005.47	
260 - UNEARNED REVENUES	26,590.25	
280 - SPECIAL ASSESSMENTS	30,848.97	
Total Liability:	644,520.55	

Equity

310 - NON-SPENDABLE	488,637.00	
320 - RESTRICTED	7,411.35	
330 - COMMITTED	4,272,648.00	
340 - ASSIGNED	976,548.00	
350 - UNASSIGNED	4,546,839.97	
Total Beginning Equity:	10,292,084.32	

Total Revenue	12,369,310.91	
Total Expense	10,652,707.39	
Revenues Over/Under Expenses	1,716,603.52	

Total Equity and Current Surplus (Deficit): 12,008,687.84

Total Liabilities, Equity and Current Surplus (Deficit): 12,653,208.39



Budget Report Group Summary

For Fiscal: 2020 Period Ending: 09/30/2020

Department;Source	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Used
GENERAL FUND						
Revenue						
TAXES	8,215,052.00	8,215,052.00	12,097.72	8,102,733.09	-112,318.91	98.63 %
SPECIAL ASSESSMENTS	8,500.00	8,500.00	900.00	5,933.32	-2,566.68	69.80 %
INTERGOVERNMENTAL AID	1,772,987.00	1,772,987.00	12,699.30	1,205,600.63	-567,386.37	68.00 %
LICENSES AND PERMITS	655,900.00	655,900.00	33,397.50	508,111.60	-147,788.40	77.47 %
PENALTIES AND FINES	328,400.00	328,400.00	28,558.51	190,381.81	-138,018.19	57.97 %
PUBLIC CHARGES FOR SERVICES	1,126,323.00	1,126,323.00	49,936.26	880,337.59	-245,985.41	78.16 %
INTERFUND CHARGES FOR SERVICES	4,520.00	4,520.00	376.66	3,389.94	-1,130.06	75.00 %
MISCELLANEOUS REVENUES	419,113.00	469,495.40	22,491.22	279,272.93	-190,222.47	59.48 %
OTHER FINANCING SOURCES	1,667,354.00	1,667,354.00	128,950.00	1,193,550.00	-473,804.00	71.58 %
Revenue Total:	14,198,149.00	14,248,531.40	289,407.17	12,369,310.91	-1,879,220.49	86.81 %
Expense						
ELECTED OFFICIALS / ADMINISTRATION	421,935.97	421,935.97	16,522.87	751,648.55	-329,712.58	178.14 %
FINANCE DEPARTMENT	586,885.97	586,885.97	52,343.17	401,094.60	185,791.37	68.34 %
CITY CLERK DEPARTMENT	367,243.23	367,243.23	29,993.76	286,564.58	80,678.65	78.03 %
POLICE DEPARTMENT	4,090,923.11	4,102,279.48	311,808.83	2,824,358.34	1,277,921.14	68.85 %
FIRE DEPARTMENT	1,966,261.00	1,966,261.00	67,833.00	1,762,666.86	203,594.14	89.65 %
DEPARTMENT OF PUBLIC WORKS	3,113,376.98	3,149,556.98	226,096.02	2,186,208.96	963,348.02	69.41 %
LIBRARY	1,210,696.75	1,211,894.15	82,434.15	837,637.58	374,256.57	69.12 %
PARKS, RECREATION AND FORESTRY	2,011,246.06	2,020,431.06	157,991.18	1,313,255.63	707,175.43	65.00 %
PLANNING DEPARTMENT	262,420.82	262,420.82	19,190.78	178,245.24	84,175.58	67.92 %
BUREAU OF ECONOMIC DEVELOPMENT	167,159.47	300,059.47	10,446.48	111,027.05	189,032.42	37.00 %
Expense Total:	14,198,149.36	14,388,968.13	974,660.24	10,652,707.39	3,736,260.74	74.03 %
GENERAL FUND Surplus (Deficit):	-0.36	-140,436.73	-685,253.07	1,716,603.52	1,857,040.25	-1,222.33 %
Report Surplus (Deficit):	-0.36	-140,436.73	-685,253.07	1,716,603.52	1,857,040.25	-1,222.33 %

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
100 - GENERAL FUND	-0.36	-140,436.73	-685,253.07	1,716,603.52	1,857,040.25
Report Surplus (Deficit):	-0.36	-140,436.73	-685,253.07	1,716,603.52	1,857,040.25



Balance

Fund: 408 - CAPITAL IMPROVEMENTS

Assets

110 - CASH AND INVESTMENTS	9,443,556.78
130 - ACCOUNTS RECEIVABLE	1,682,169.98

Total Assets: 11,125,726.76 **11,125,726.76**

Liability

210 - ACCOUNTS PAYABLE	809,911.84
260 - UNEARNED REVENUES	1,469,482.49

Total Liability: 2,279,394.33

Equity

330 - COMMITTED	7,831,429.67
350 - UNASSIGNED	-10,675,732.61

Total Beginning Equity: -2,844,302.94

Total Revenue	19,975,870.81
Total Expense	8,285,235.44

Revenues Over/Under Expenses 11,690,635.37

Total Equity and Current Surplus (Deficit): 8,846,332.43

Total Liabilities, Equity and Current Surplus (Deficit): **11,125,726.76**



Budget Report Group Summary

For Fiscal: 2020 Period Ending: 09/30/2020

Department;Source	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Used
CAPITAL IMPROVEMENTS						
Revenue						
TAXES	2,107,403.00	2,107,403.00	0.00	2,107,403.00	0.00	100.00 %
INTERGOVERNMENTAL AID	150,000.00	150,000.00	0.00	0.00	-150,000.00	0.00 %
MISCELLANEOUS REVENUES	56,200.00	62,186.00	100,897.71	121,967.81	59,781.81	196.13 %
OTHER FINANCING SOURCES	2,180,000.00	2,300,000.00	0.00	17,746,500.00	15,446,500.00	771.59 %
Revenue Total:	4,493,603.00	4,619,589.00	100,897.71	19,975,870.81	15,356,281.81	432.42 %
Expense						
POLICE DEPARTMENT	139,000.00	8,197,005.42	710,888.96	6,130,337.25	2,066,668.17	74.79 %
FIRE DEPARTMENT	476,568.00	476,568.00	0.00	458,356.00	18,212.00	96.18 %
DEPARTMENT OF PUBLIC WORKS	3,475,000.00	4,922,414.47	8,752.60	1,443,934.96	3,478,479.51	29.33 %
LIBRARY	36,000.00	80,283.07	0.00	69,798.07	10,485.00	86.94 %
PARKS, RECREATION AND FORESTRY	235,835.00	363,689.00	99,686.00	142,762.81	220,926.19	39.25 %
DEBT SERVICE	0.00	0.00	0.00	18,834.40	-18,834.40	0.00 %
OTHER FINANCING USES	75,000.00	93,436.00	3,505.75	21,211.95	72,224.05	22.70 %
Expense Total:	4,437,403.00	14,133,395.96	822,833.31	8,285,235.44	5,848,160.52	58.62 %
CAPITAL IMPROVEMENTS Surplus (Deficit):	56,200.00	-9,513,806.96	-721,935.60	11,690,635.37	21,204,442.33	-122.88 %
Report Surplus (Deficit):	56,200.00	-9,513,806.96	-721,935.60	11,690,635.37	21,204,442.33	-122.88 %

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
408 - CAPITAL IMPROVEMENTS	56,200.00	-9,513,806.96	-721,935.60	11,690,635.37	21,204,442.33
Report Surplus (Deficit):	56,200.00	-9,513,806.96	-721,935.60	11,690,635.37	21,204,442.33



Balance

Fund: 601 - WASTEWATER UTILITY

Assets

Class: 105 - CURRENT ASSETS

Table with 2 columns: Asset Description and Amount. Rows include 1051 - CASH & INVESTMENTS (4,552,276.13), 1052 - ACCOUNTS RECEIVABLE (372,568.28), 1053 - SPECIAL ASSESSMENT RECEIVABLE (913,086.95), 1054 - ACCRUED INTEREST (27,485.54), 1055 - DUE FROM OTHER FUNDS (4,728,341.00), 1058 - ADVANCES TO OTHER FUNDS (132,849.93), 1059 - DEFERRED CHARGES (48,300.00).

Total Class 105 - CURRENT ASSETS: 10,774,907.83

Class: 145 - RESTRICTED ASSETS

Table with 2 columns: Asset Description and Amount. Row includes 1451 - CASH & INVESTMENTS (11,112,248.62).

Total Class 145 - RESTRICTED ASSETS: 11,112,248.62

Class: 165 - NONCURRENT ASSETS

Table with 2 columns: Asset Description and Amount. Rows include 1653 - ADVANCES TO OTHER FUNDS (1,108,912.55), 1657 - OTHER ASSETS (183,385.00).

Total Class 165 - NONCURRENT ASSETS: 1,292,297.55

Class: 175 - CAPITAL ASSETS

Table with 2 columns: Asset Description and Amount. Rows include 1751 - LAND (60,606.55), 1752 - STRUCTURES & IMPROVEMENTS (10,033,045.12), 1753 - IMPROVEMENTS OTHER THAN BUILDINGS (40,071,427.27), 1754 - MACHINERY & EQUIPMENT (11,876,181.93), 1756 - CONSTRUCTION IN PROGRESS (876,558.86), 1757 - ACCUMULATED DEPRECIATION (-24,878,393.39).

Total Class 175 - CAPITAL ASSETS: 38,039,426.34

Total Assets: 61,218,880.34

61,218,880.34

Liability

Class: 205 - CURRENT LIABILITIES

Table with 2 columns: Liability Description and Amount. Rows include 2052 - ACCRUED LIABILITIES (44,021.13), 2053 - ACCRUED INTEREST (1,093.39), 2057 - DEFERRED CREDITS (129,379.71), 2058 - GENERAL OBLIGATION DEBT (11,040.00).

Total Class 205 - CURRENT LIABILITIES: 185,534.23

Class: 255 - NONCURRENT LIABILITIES

Table with 2 columns: Liability Description and Amount. Row includes 2553 - GENERAL OBLIGATION DEBT (37,260.00).

Total Class 255 - NONCURRENT LIABILITIES: 37,260.00

Total Liability: 222,794.23

Equity

Class: 305 - NET POSITION

Table with 2 columns: Equity Description and Amount. Rows include 3055 - RESTRICTED FOR PLANT REPLACEMENT (11,112,248.62), 3057 - RESTRICTED FOR PENSION BENEFITS (183,385.00), 3059 - UNRESTRICTED (48,588,927.14).

Total Class 305 - NET POSITION: 59,884,560.76

Total Beginning Equity: 59,884,560.76

Total Revenue 3,823,913.59

Total Expense 2,712,388.24

Revenues Over/Under Expenses 1,111,525.35

Total Equity and Current Surplus (Deficit): 60,996,086.11

Total Liabilities, Equity and Current Surplus (Deficit): 61,218,880.34



RevClass;Departmen...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Used
Fund: 601 - WASTEWATER UTILITY						
Revenue						
Source: 411 - OPERATING REVENUE						
6410 - RESIDENTIAL	1,801,000.00	1,801,000.00	153,004.57	1,393,786.38	-407,213.62	77.39 %
6411 - COMMERCIAL	862,000.00	862,000.00	82,181.57	654,579.16	-207,420.84	75.94 %
6414 - INDUSTRIAL	202,000.00	202,000.00	16,860.54	147,190.13	-54,809.87	72.87 %
6421 - SERVICE TO OTHER SYSTEMS	951,000.00	951,000.00	71,230.11	622,842.98	-328,157.02	65.49 %
6450 - OTHER OPERATING REVENUE	172,000.00	172,000.00	20,575.56	162,711.58	-9,288.42	94.60 %
Source: 411 - OPERATING REVENUE Total:	3,988,000.00	3,988,000.00	343,852.35	2,981,110.23	-1,006,889.77	74.75 %
Source: 412 - NON-OPERATING REVENUE						
8110 - INTEREST ON INVESTMENTS	480,400.00	480,400.00	20,342.85	270,088.45	-210,311.55	56.22 %
8113 - SEWER AVAILABILITY CHARGE	440,000.00	440,000.00	66,810.00	521,249.00	81,249.00	118.47 %
8114 - IMPACT FEES & SPECIAL ASSESSMENTS	35,200.00	35,200.00	136.00	57,558.00	22,358.00	163.52 %
8120 - UNREALIZED GAIN/LOSS	0.00	0.00	-2,745.59	31,306.30	31,306.30	0.00 %
8121 - REALIZED GAIN/LOSS	-50,000.00	-50,000.00	-5,287.68	-37,398.39	12,601.61	74.80 %
Source: 412 - NON-OPERATING REVENUE Total:	905,600.00	905,600.00	79,255.58	842,803.36	-62,796.64	93.07 %
Source: 414 - CONTRIBUTIONS AND TRANSFERS						
4210 - CONTRIBUTED INFRASTRUCTURE	730,000.00	730,000.00	0.00	0.00	-730,000.00	0.00 %
Source: 414 - CONTRIBUTIONS AND TRANSFERS Total:	730,000.00	730,000.00	0.00	0.00	-730,000.00	0.00 %
Revenue Total:	5,623,600.00	5,623,600.00	423,107.93	3,823,913.59	-1,799,686.41	68.00 %
Expense						
518 - ADMIN & GENERAL	2,333,924.28	2,340,640.93	172,711.29	1,675,248.32	665,392.61	71.57 %
519 - VEHICLES & EQUIPMENT	55,511.04	57,511.04	2,053.94	29,054.16	28,456.88	50.52 %
573 - DISTRIBUTION MAINTENANCE	0.00	0.00	0.00	0.00	0.00	0.00 %
575 - COLLECTION	348,251.47	348,251.47	20,901.69	202,255.15	145,996.32	58.08 %
576 - TREATMENT & DISPOSAL	1,440,250.01	1,493,091.01	81,449.92	687,088.70	806,002.31	46.02 %
578 - SANITARY DISTRICTS	2,456.04	2,456.04	83.69	953.93	1,502.11	38.84 %
580 - DEBT SERVICE	156,904.00	156,904.00	13,038.52	117,787.98	39,116.02	75.07 %
Expense Total:	4,337,296.84	4,398,854.49	290,239.05	2,712,388.24	1,686,466.25	61.66 %
Fund: 601 - WASTEWATER UTILITY Surplus (Deficit):	1,286,303.16	1,224,745.51	132,868.88	1,111,525.35	-113,220.16	90.76 %
Report Surplus (Deficit):	1,286,303.16	1,224,745.51	132,868.88	1,111,525.35	-113,220.16	90.76 %



Balance

Fund: 602 - WATER UTILITY

Assets

Class: 105 - CURRENT ASSETS

Table with 2 columns: Asset Description and Amount. Rows include 1051 - CASH & INVESTMENTS (4,985,993.08), 1052 - ACCOUNTS RECEIVABLE (260,212.88), 1053 - SPECIAL ASSESSMENT RECEIVABLE (569,109.98), 1056 - PREPAID ITEMS (47,200.00), 1057 - INVENTORIES (75,724.49), 1059 - DEFERRED CHARGES (35,700.00).

Total Class 105 - CURRENT ASSETS: 5,973,940.43

Class: 145 - RESTRICTED ASSETS

Table with 2 columns: Asset Description and Amount. Row includes 1451 - CASH & INVESTMENTS (224,889.10).

Total Class 145 - RESTRICTED ASSETS: 224,889.10

Class: 165 - NONCURRENT ASSETS

Table with 2 columns: Asset Description and Amount. Row includes 1657 - OTHER ASSETS (495,498.07).

Total Class 165 - NONCURRENT ASSETS: 495,498.07

Class: 175 - CAPITAL ASSETS

Table with 2 columns: Asset Description and Amount. Rows include 1751 - LAND (58,625.09), 1752 - STRUCTURES & IMPROVEMENTS (1,253,429.06), 1753 - IMPROVEMENTS OTHER THAN BUILDINGS (37,147,560.99), 1754 - MACHINERY & EQUIPMENT (9,127,566.52), 1756 - CONSTRUCTION IN PROGRESS (458,893.74), 1757 - ACCUMULATED DEPRECIATION (-13,778,311.88).

Total Class 175 - CAPITAL ASSETS: 34,267,763.52

Total Assets: 40,962,091.12 40,962,091.12

Liability

Class: 205 - CURRENT LIABILITIES

Table with 2 columns: Liability Description and Amount. Rows include 2051 - ACCOUNTS PAYABLE (2,713.21), 2052 - ACCRUED LIABILITIES (13,407.97), 2053 - ACCRUED INTEREST (37,196.90), 2054 - DEPOSITS (2,700.00), 2055 - ACCRUED TAXES (572,582.00), 2057 - DEFERRED CREDITS (509,124.79), 2058 - GENERAL OBLIGATION DEBT (8,160.00), 2059 - REVENUE BONDS (195,000.00), 2061 - ADVANCES FROM OTHER FUNDS (386,140.71).

Total Class 205 - CURRENT LIABILITIES: 1,727,025.58

Class: 255 - NONCURRENT LIABILITIES

Table with 2 columns: Liability Description and Amount. Rows include 2553 - GENERAL OBLIGATION DEBT (2,257,540.00), 2556 - ADVANCES FROM OTHER FUNDS (1,873,102.11).

Total Class 255 - NONCURRENT LIABILITIES: 4,130,642.11

Total Liability: 5,857,667.69

Equity

Class: 305 - NET POSITION

Table with 2 columns: Equity Description and Amount. Rows include 3057 - RESTRICTED FOR PENSION BENEFITS (186,092.00), 3059 - UNRESTRICTED (34,415,228.63).

Total Class 305 - NET POSITION: 34,601,320.63

Total Beginning Equity: 34,601,320.63

Balance Sheet

As Of 09/30/2020

	Balance
Total Revenue	2,874,031.31
Total Expense	<u>2,370,928.51</u>
Revenues Over/Under Expenses	503,102.80
Total Equity and Current Surplus (Deficit):	35,104,423.43
Total Liabilities, Equity and Current Surplus (Deficit):	<u><u>40,962,091.12</u></u>



RevClass;Departmen...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Used
Fund: 602 - WATER UTILITY						
Revenue						
Source: 411 - OPERATING REVENUE						
4600 - HYDRANT	1,000.00	1,000.00	196.80	929.70	-70.30	92.97 %
4610 - METERED SALES-RES MULTI FAMILY	1,448,000.00	185,000.00	19,249.36	161,105.96	-23,894.04	87.08 %
4611 - RESIDENTIAL	185,000.00	1,448,000.00	177,430.19	1,267,625.47	-180,374.53	87.54 %
4613 - COMMERCIAL	552,000.00	552,000.00	54,806.09	405,364.91	-146,635.09	73.44 %
4615 - INDUSTRIAL	120,000.00	120,000.00	10,894.66	87,296.53	-32,703.47	72.75 %
4620 - PUBLIC FIRE PROTECTION	814,000.00	814,000.00	67,833.00	610,497.00	-203,503.00	75.00 %
4630 - PRIVATE FIRE PROTECTION	105,000.00	105,000.00	9,183.00	82,213.33	-22,786.67	78.30 %
4700 - FOREFITED DISCOUNTS	5,500.00	5,500.00	0.00	1,336.68	-4,163.32	24.30 %
4710 - MISC SERVICE REVENUE	2,000.00	2,000.00	264.10	1,953.30	-46.70	97.67 %
4720 - RENTS FROM WATER PROPERTY	95,400.00	95,400.00	7,379.12	74,233.17	-21,166.83	77.81 %
4740 - OTHER WATER REVENUE	43,000.00	43,000.00	2,800.24	26,549.82	-16,450.18	61.74 %
Source: 411 - OPERATING REVENUE Total:	3,370,900.00	3,370,900.00	350,036.56	2,719,105.87	-651,794.13	80.66 %
Source: 412 - NON-OPERATING REVENUE						
4150 - REVENUE FROM JOBBING	6,000.00	6,000.00	419.82	1,683.08	-4,316.92	28.05 %
4190 - INTEREST	70,000.00	70,000.00	1,841.55	23,296.36	-46,703.64	33.28 %
4250 - MISC AMORT-REGULATORY LIABILITY	41,945.00	41,945.00	3,495.42	31,458.78	-10,486.22	75.00 %
4301 - IMPACT FEES & SPECIAL ASSESSMENTS	0.00	0.00	111.79	98,487.22	98,487.22	0.00 %
Source: 412 - NON-OPERATING REVENUE Total:	117,945.00	117,945.00	5,868.58	154,925.44	36,980.44	131.35 %
Source: 414 - CONTRIBUTIONS AND TRANSFERS						
4210 - CONTRIBUTED INFRASTRUCTURE	840,000.00	840,000.00	0.00	0.00	-840,000.00	0.00 %
Source: 414 - CONTRIBUTIONS AND TRANSFERS Total:	840,000.00	840,000.00	0.00	0.00	-840,000.00	0.00 %
Revenue Total:	4,328,845.00	4,328,845.00	355,905.14	2,874,031.31	-1,454,813.69	66.39 %
Expense						
516 - CUSTOMER SERVICE	76,627.69	76,627.69	5,531.52	51,654.43	24,973.26	67.41 %
517 - ADVERTISING / PUBLICITY	17,500.00	17,500.00	146.48	6,633.22	10,866.78	37.90 %
518 - ADMIN & GENERAL	660,738.99	660,738.99	43,629.60	434,093.45	226,645.54	65.70 %
519 - VEHICLES & EQUIPMENT	0.00	0.00	0.00	0.00	0.00	0.00 %
531 - SOURCE OF SUPPLY	5,000.00	5,000.00	0.00	0.00	5,000.00	0.00 %
532 - PUMPING OPERATIONS	234,355.57	234,355.57	15,783.33	152,201.50	82,154.07	64.94 %
533 - PUMPING MAINTENANCE	124,217.95	124,217.95	4,633.83	27,352.73	96,865.22	22.02 %
534 - TREATMENT OPERATIONS	86,154.18	86,154.18	9,272.31	64,750.24	21,403.94	75.16 %
535 - TREATMENT MAINTENANCE	25,551.63	25,551.63	300.56	10,601.50	14,950.13	41.49 %
572 - DISTRIBUTION OPERATIONS	284,795.06	284,795.06	21,196.73	163,446.14	121,348.92	57.39 %
573 - DISTRIBUTION MAINTENANCE	391,584.43	391,584.42	21,605.13	229,207.30	162,377.12	58.53 %
574 - GENERAL PLANT	29,933.21	29,933.21	4,647.07	34,837.06	-4,903.85	116.38 %
577 - MISCELLANEOUS EXPENSES	1,577,347.02	1,577,347.02	133,346.94	1,196,150.94	381,196.08	75.83 %
Expense Total:	3,513,805.73	3,513,805.72	260,093.50	2,370,928.51	1,142,877.21	67.47 %
Fund: 602 - WATER UTILITY Surplus (Deficit):	815,039.27	815,039.28	95,811.64	503,102.80	-311,936.48	61.73 %
Report Surplus (Deficit):	815,039.27	815,039.28	95,811.64	503,102.80	-311,936.48	61.73 %



Balance

Fund: 603 - ELECTRIC UTILITY

Assets

Class: 105 - CURRENT ASSETS

Table with 2 columns: Asset Description and Balance. Rows include 1051 - CASH & INVESTMENTS (11,012,690.31), 1052 - ACCOUNTS RECEIVABLE (2,428,639.11), 1054 - ACCRUED INTEREST (6,359.28), 1056 - PREPAID ITEMS (4,044.60), 1057 - INVENTORIES (1,425,274.28), 1058 - ADVANCES TO OTHER FUNDS (253,290.78), 1059 - DEFERRED CHARGES (87,675.00).

Total Class 105 - CURRENT ASSETS: 15,217,973.36

Class: 145 - RESTRICTED ASSETS

Table with 2 columns: Asset Description and Balance. Row: 1451 - CASH & INVESTMENTS (39,173.14).

Total Class 145 - RESTRICTED ASSETS: 39,173.14

Class: 165 - NONCURRENT ASSETS

Table with 2 columns: Asset Description and Balance. Rows include 1653 - ADVANCES TO OTHER FUNDS (764,189.56), 1657 - OTHER ASSETS (374,648.00).

Total Class 165 - NONCURRENT ASSETS: 1,138,837.56

Class: 175 - CAPITAL ASSETS

Table with 2 columns: Asset Description and Balance. Rows include 1751 - LAND (123,061.54), 1752 - STRUCTURES & IMPROVEMENTS (2,940,896.55), 1753 - IMPROVEMENTS OTHER THAN BUILDINGS (39,423,383.61), 1754 - MACHINERY & EQUIPMENT (17,118,409.55), 1756 - CONSTRUCTION IN PROGRESS (3,917,221.16), 1757 - ACCUMULATED DEPRECIATION (-29,949,738.28).

Total Class 175 - CAPITAL ASSETS: 33,573,234.13

Total Assets: 49,969,218.19

49,969,218.19

Liability

Class: 205 - CURRENT LIABILITIES

Table with 2 columns: Liability Description and Balance. Rows include 2051 - ACCOUNTS PAYABLE (1,652,972.41), 2052 - ACCRUED LIABILITIES (137,529.40), 2053 - ACCRUED INTEREST (9,300.00), 2054 - DEPOSITS (39,173.14), 2055 - ACCRUED TAXES (775,618.00), 2056 - CUSTOMER ADVANCES FOR CONSTRUCTION (323,945.04), 2057 - DEFERRED CREDITS (311,022.03), 2058 - GENERAL OBLIGATION DEBT (20,040.00), 2059 - REVENUE BONDS (455,000.00).

Total Class 205 - CURRENT LIABILITIES: 3,724,600.02

Class: 255 - NONCURRENT LIABILITIES

Table with 2 columns: Liability Description and Balance. Row: 2553 - GENERAL OBLIGATION DEBT (542,635.00).

Total Class 255 - NONCURRENT LIABILITIES: 542,635.00

Total Liability: 4,267,235.02

Equity

Class: 305 - NET POSITION

Table with 2 columns: Equity Description and Balance. Rows include 3057 - RESTRICTED FOR PENSION BENEFITS (374,648.00), 3059 - UNRESTRICTED (44,206,072.01).

Total Class 305 - NET POSITION: 44,580,720.01

Total Beginning Equity: 44,580,720.01

Balance Sheet

As Of 09/30/2020

	Balance
Total Revenue	18,390,822.10
Total Expense	<u>17,269,558.94</u>
Revenues Over/Under Expenses	1,121,263.16
Total Equity and Current Surplus (Deficit):	45,701,983.17
Total Liabilities, Equity and Current Surplus (Deficit):	<u><u>49,969,218.19</u></u>



RevClass;Departmen...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Used
Fund: 603 - ELECTRIC UTILITY						
Revenue						
Source: 411 - OPERATING REVENUE						
4400 - RESIDENTIAL	9,713,000.00	9,713,000.00	1,029,755.32	7,551,718.05	-2,161,281.95	77.75 %
4420 - COMMERCIAL	2,948,000.00	2,948,000.00	247,105.17	2,076,011.02	-871,988.98	70.42 %
4430 - LARGE COMMERCIAL/INDUSTRIAL	11,828,000.00	11,828,000.00	1,011,817.86	8,385,437.35	-3,442,562.65	70.89 %
4440 - STREET & YARD LIGHTING	313,000.00	313,000.00	22,737.85	199,520.41	-113,479.59	63.74 %
4500 - FOREFITED DISCOUNTS	45,000.00	45,000.00	0.00	8,891.68	-36,108.32	19.76 %
4510 - MISC SERVICE REVENUE	7,000.00	7,000.00	0.00	100.00	-6,900.00	1.43 %
4540 - RENTS FROM ELECTRIC PROPERTY	21,600.00	21,600.00	1,800.00	17,278.76	-4,321.24	79.99 %
4560 - OTHER ELECTRIC REVENUE	20,000.00	20,000.00	810.69	7,364.31	-12,635.69	36.82 %
Source: 411 - OPERATING REVENUE Total:	24,895,600.00	24,895,600.00	2,314,026.89	18,246,321.58	-6,649,278.42	73.29 %
Source: 412 - NON-OPERATING REVENUE						
4150 - REVENUE FROM JOBBING	60,000.00	60,000.00	0.00	1,152.69	-58,847.31	1.92 %
4190 - INTEREST	246,992.00	246,992.00	5,579.58	107,924.64	-139,067.36	43.70 %
4250 - MISC AMORT-REGULATORY LIABILITY	76,638.00	76,638.00	6,386.50	57,478.50	-19,159.50	75.00 %
Source: 412 - NON-OPERATING REVENUE Total:	383,630.00	383,630.00	11,966.08	166,555.83	-217,074.17	43.42 %
Source: 414 - CONTRIBUTIONS AND TRANSFERS						
4210 - CONTRIBUTED INFRASTRUCTURE	200,000.00	200,000.00	0.00	0.00	-200,000.00	0.00 %
4211 - DEVELOPER EMBEDDED CREDITS	-100,000.00	-100,000.00	0.00	-22,055.31	77,944.69	22.06 %
Source: 414 - CONTRIBUTIONS AND TRANSFERS Total:	100,000.00	100,000.00	0.00	-22,055.31	-122,055.31	22.06 %
Source: 473 - CAPITAL PROJECTS						
7000 - WORK ORDER CLEARING	0.00	0.00	0.00	0.00	0.00	0.00 %
Source: 473 - CAPITAL PROJECTS Total:	0.00	0.00	0.00	0.00	0.00	0.00 %
Revenue Total:	25,379,230.00	25,379,230.00	2,325,992.97	18,390,822.10	-6,988,407.90	72.46 %
Expense						
516 - CUSTOMER SERVICE	298,658.44	298,658.44	21,779.94	187,444.66	111,213.78	62.76 %
517 - ADVERTISING / PUBLICITY	13,700.00	13,700.00	1,671.73	2,869.68	10,830.32	20.95 %
518 - ADMIN & GENERAL	1,328,468.02	1,328,468.02	94,664.92	920,966.08	407,501.94	69.33 %
519 - VEHICLES & EQUIPMENT	0.00	0.00	0.00	0.00	0.00	0.00 %
571 - PURCHASED POWER	17,586,000.00	17,586,000.00	1,515,158.55	12,840,575.07	4,745,424.93	73.02 %
572 - DISTRIBUTION OPERATIONS	551,380.93	551,380.93	35,068.69	367,762.18	183,618.75	66.70 %
573 - DISTRIBUTION MAINTENANCE	834,618.13	852,118.13	57,113.48	611,983.20	240,134.93	71.82 %
574 - GENERAL PLANT	136,289.57	136,289.57	3,267.34	76,322.92	59,966.65	56.00 %
577 - MISCELLANEOUS EXPENSES	3,019,069.04	3,019,069.04	249,623.03	2,261,635.15	757,433.89	74.91 %
Expense Total:	23,768,184.13	23,785,684.13	1,978,347.68	17,269,558.94	6,516,125.19	72.60 %
Fund: 603 - ELECTRIC UTILITY Surplus (Deficit):	1,611,045.87	1,593,545.87	347,645.29	1,121,263.16	-472,282.71	70.36 %
Report Surplus (Deficit):	1,611,045.87	1,593,545.87	347,645.29	1,121,263.16	-472,282.71	70.36 %

City of Oconomowoc
Summary of Budgeted Capital Purchase Orders >\$10,000 Approved Administratively
7/1/20 - 9/30/20

Department	Item	Budget Amount	Vendor	Amount	Quotes/Bids Received	Comment
DPW	2020 Crack Sealing Program	\$ 50,000.00	1 American Pavement Solutions	49,122.06		
			2 Thunder Road LLC	53,880.00		
			3 Fahrner Asphalt Sealers	73,634.00		

Notes: Request for bids were solicited and three vendors submitted. American Pavement Solutions was selected as the lowest cost vendor meeting all specifications.

DPW	Signs for City Parking Lot and Public Safety Facility	\$ 10,000.00 & PSF Contingency	1 Appleton Sign Company	26,545.99		

Notes: Purchase is for city parking lot signs and Public Safety Facility signs. Amount for city parking lot signs is \$8,460 which is within the \$10,000 amount included in the 2019 Carryover budget. The signs for Public Safety Facility are being paid out of project contingency. The net cost to the city will be \$6,589 as Lake Country Municipal Court will be invoiced for their portion of \$11,497. Signage needs to be approved through Architechural Commission, therefore city staff worked with Appleton Sign to create the theme and obtain approval for the signage.

DPW	Annual Sidewalk Program	\$ 25,000.00	1 Forward Contractors	30,285.00		
			2 DC Burbach	39,017.50		
			3 Workman Enterprises	28,400.00	rejected-no experience	

Notes: Request for bids were solicited and advertised. Four vendors requested specifications and three submitted bids. Forward Contractors was selected as the lowest cost vendor meeting specifications. The project was pared down from the initial bids taking into account COVID and the desire to minimize financial burden on residents as they are billed back for sidewalks. Total project cost was kept at 25,000.

Technology	Police Lifecycle PCs	\$ 93,800.00	1 SHI International	14,000.00		
			2 CDWG	15,800.00		
			3 Dell	19,691.40		

Notes: Quotes were solicited from three vendors for 20 lifecycle PCs. SHI International was selected as the lowest cost vendor meeting specifications.

Police	Phone System new PD	\$ - PSF Contingency	1 Convergent Solutions	18,041.96		
			2 SKC Communications	20,728.00		

Notes: Quotes were solicited from four vendors and two submitted quotes. Convergent Solutions was selected as the lowest cost vendor meeting specifications. Funding is from the PSF project contingency as well as the Technology fund for a portion related to other departments phone system support.

City of Oconomowoc
Summary of Budgeted Capital Purchase Orders >\$10,000 Approved Administratively
7/1/20 - 9/30/20

Department	Item	Budget Amount	Quotes/Bids Received		Comment
			Vendor	Amount	
DPW	Pavement Marking - Epoxy Program	\$ 38,077.00	1	Brickline Inc	35,554.75
			2	Century Fence	40,591.00

Notes: Requests for bids were solicited and advertised. Two vendors submitted. The quotes received far exceeded budget available (Brickline- \$80K, Century Fence- \$87K) therefore alternatives were chosen in order to stay within budget. Brickline was selected as the lowest cost vendor meeting specifications.

Electric	Crane Services for WI Ave substation transformer removal	\$ 100,000.00	1	Hennes Services	10,295.00

Notes: Vendor specific - based on staff research there is only one crane service in the area equipped to handle the specifications of this job. This is one component for the capital project of decommissioning WI Ave substation.

Electric	Bore Rig Rods for cable installation equip	\$ 18,325.00	1	Vermeer Wisconsin	12,995.00

Notes: Vendor specific as this is for components for the Vermeer boring rig and the parts are specific to the machine. This is one component within the entire budget for the cable installation boring rig and associated equipment.

Electric	Decommission WI Ave Substation	\$ 100,000.00	1	Emerald Transformer	12,345.56
			2	Sunbelt/Solomon Solutions	no quote
			3	SET Solutions	no quote

Notes: Quotes solicited from three vendors that are qualified to do this specialized work. Two declined to quote. Emerald Transformer was selected as the only qualified vendor that provided a quote and meets specifications. This is one component for the capital project of decommissioning WI Ave substations.

Water	Well 7 Booster Pump Pull & Inspect	\$ 80,000.00	1	Water Well Solutions Service	63,145.00
			2	Municipal Well & Pump	69,140.00
			3	CTW	67,200.00

Notes: Request for quotes were advertised and three vendors submitted. Water Well Solutions was selected as the lowest cost vendor meeting specifications.

Electric	Remove and Replace Roof Beams at WI Ave Substation	\$ 50,000.00	1	Duwe Metal Products	10,825.00

Notes: This project requires coordination and partnership with the other components of the WI Ave Decommission project (roof removed, crane on site and transformer taken out, etc). Therefore this portion of project was not advertised as DUWE Metals is working in tandem with Skyline Technology the building engineers to ensure roof specifications and proper timing.

City of Oconomowoc
Summary of Budgeted Capital Purchase Orders >\$10,000 Approved Administratively
7/1/20 - 9/30/20

Department	Item	Budget Amount	Quotes/Bids Received		Comment
			Vendor	Amount	
Technology	HPE Aruba Switch for Central Network System	\$ -	1	CDW Government	12,118.39

Notes: This was an emergency purchase and CDW was chosen for speed of delivery and compatibility of equipment.

Water	Well 7 Reservoir Concrete Restoration	\$ 25,000.00	1	Terrazzo Creations	25,000.00
			2	Epoxy Design Systems	32,880.00
			3	Concrete Masonry & Restoration	no quote

Notes: Request for Quotes sent to three vendors. Terrazzo Creations was selected as the lowest cost vendor meeting specifications

Police	Fitness Equipment for PSF	\$ 70,000.00	1	Lumos Holdings	53,551.03

Notes: The City received a \$70,000 grant from the Waukesha County Community Foundation/Bryce & Anne Styza fund specifically for the purchase of fitness equipment. The Police department worked with the Styzs family to select the vendor and equipment.



MEMORANDUM

DEPARTMENT

Date: October 14, 2020
To: Finance Committee, City Council, and Mayor Nold
From: Laurie Sullivan, Finance Director
Re: Budget Amendment for Grants and Donations to the City

RELATES TO THE STRATEGIC PLAN

Strategic Goal- N/A

BACKGROUND

The following unbudgeted grants/donations were awarded and funds received during the third quarter of 2020. A budget entry is recommended to allow for the additional revenue and expense.

ADDITIONAL ANALYSIS

N/A

FINANCIAL IMPACT

Grants and Donations received include:

Donations were received for the purchase of land at 515 N Lake Road (Peacock Park)-\$100K and for the 'Build a Park at 517" in the amount of \$358,664.

The City also received donations for downtown tree lighting, dollars to the Library for Chamber Certificates, donations to the Parks department for Park Bench Plaque's, and Tree donations.

The Police Department received donations to fund the fitness room at the new PD and received a Traffic Grant from the State.

RECOMMENDATION

Recommend approval of budget adjustment for collection of unbudgeted grants and donations to the City.

SUGGESTED MOTION

Motion to approve the budget amendments for donations and grants awarded to the City.

City of Oconomowoc
Grants/Donations Received
7/1/20-9/30/20

The following unbudgeted grants/donations were awarded and funds received during the third quarter of 2020. A budget entry is recommended to allow for the additional revenue and expense.

Granting Organization	Description	Grant/ Donation Amount	Revenue Account	Expense Account
State of Wisconsin	PD - Traffic Grants	2,911.96 *	100-403-3523-503	100-503-3300-116
State of Wisconsin	DPW - PECFA Reimbursement	1,354.22	100-403-3622-505	100-505-5120-210
Robert & Rebecca Wisniewski Living Trust	PD - Donation	70.00 *	100-408-8501-503	100-36401
Friends of the Library	Chamber Certificates, Art Museum Passes	1,705.25 *	100-408-8501-506	100-506-6100-212
Friends of the Library	Chamber Certificates, Art Museum Passes	600.00 *	100-408-8501-506	100-506-6100-320
Library Donors	Various Donations	364.99 *	100-408-8501-506	100-506-6100-212
Carissa Fairman	Park Bench Plaque	400.00 *	100-408-8501-507	100-507-7410-410
Roots Coffeebar & Café LLC	Park Bench Plaque	800.00 *	100-408-8501-507	100-507-7410-410
Stacey Spliman	Park Bench Plaque	400.00 *	100-408-8501-507	100-507-7410-410
Waterstone Bank	Downtown Holiday Lights	250.00 *	100-408-8501-507	100-507-7520-340
Bridges Library Sysytem	LSTA Grant	80.74 *	100-408-8505-506	100-506-6100-324
Lakeshores Library System	LSTA Grant	975.00 *	100-408-8505-506	100-506-6100-323
Robert & Sarah Lewis	Tree Donation	2,000.00 *	100-408-8506-507	100-507-7610-410
Pine Ridge Estates HOA	Tree Donation	18,000.00	100-408-8507-507	100-507-7610-410
Bank Five Nine	Fitness Equipment	15,000.00	231-408-8501-503	231-503-3100-810
Waukesha County Community Foundation Inc	Fitness Equipment	70,000.00	231-408-8505-503	231-503-3100-810
Various Donors	Save 517 Park Donation	58,664.00	232-408-8501-507	232-507-7410-825
Fidelity Charitable - Stephen Delahunt	Save 517 Park Donation	300,000.00	232-408-8505-507	232-507-7410-825
Herro Revocable Trust	525 Park Donation	100,000.00	408-408-8501-507	408-507-7410-825
Total		\$ 573,576.16		

* Amount in excess of budget donation revenue

ORDINANCE NO. 20-O987

AN ORDINANCE TO AMEND THE CITY OF OCONOMOWOC
COMPREHENSIVE LAND USE PLAN 2050 (PRAIRIE CREEK RIDGE #5)

WHEREAS, an application was made by Mike Kaerek of Kaerek Homes, Craig Caliendo of Kettle Creek Homes and Mike Bickler of Prairie Creek Ridge, LLC, to amend 21.44 acres on the plan and map on page 143 as shown on the City of Oconomowoc 2050 Future Land Use Map as amended, which is on file in the office of the Planning Department; and

WHEREAS, the City of Oconomowoc considered an application for amendment to the Comprehensive Land Use Plan 2050 and accompanying map at a regularly scheduled and noticed Plan Commission meeting held on October 14, 2020; and

WHEREAS, the Plan Commission, after a public hearing on October 14, 2020, considered the amendment to the Comprehensive Land Use Plan 2050 and by Resolution recommended that the Common Council adopt an ordinance amending the Comprehensive Land Use Plan 2050 as reflected on the attached Re-Zoning Exhibit; and

WHEREAS, pursuant to §66.1001, Wis. Stats., no amendment may take effect until the Common Council enacts an ordinance and adopts the amendment; and

WHEREAS, §66.1001, Wis. Stats., provides that the Common Council must hold at least one public hearing at which the proposed ordinance is discussed, said public hearing must be preceded by a Class 1 notice under Chapter 985, Wis. Stats., that is published at least 30 days before the hearing is held; and

WHEREAS, the Common Council gave appropriate notice of a public hearing to be held on October 20, 2020, beginning at 7:30 pm in the Common Council Chambers of the City Hall, 174 E. Wisconsin Avenue, Oconomowoc, WI, to consider the amendment to the land use of the parcels identified on the attached Re-Zoning Exhibit; and

WHEREAS, the public hearing was duly held on October 20, 2020; and

WHEREAS, the requested amendment as reflected on the attached Re-Zoning Exhibit would meet the goals of the City of Oconomowoc Comprehensive Land Use Plan 2050 as outlined in the Land Use Element of said plan.

NOW THEREFORE, BE IT HEREBY ORDAINED that the Common Council of the City of Oconomowoc adopts this ordinance which amends the Comprehensive Land Use Plan 2050 by amending the land use of the parcels comprising of 21.44 acres identified on the attached Re-Zoning Exhibit from the current land use designation of Suburban Residential to the proposed land use designation of Medium Density Residential shown on said exhibit.

BE IT FURTHER ORDAINED that a copy of this Comprehensive Plan amending ordinance shall be sent to all of the following:

1. Every governmental body that is located in whole or in part within the boundaries of the City of Oconomowoc.
2. The clerk of every local governmental unit that is adjacent to the City of Oconomowoc.
3. The Wisconsin Land Council.
4. The Department of Administration.
5. The Southeastern Wisconsin Regional Planning Commission.
6. The public library that serves the area in which the City of Oconomowoc is located.

BE IT FURTHER ORDAINED that this ordinance shall be effective upon passage and publication as required by law.

DATED: October 20, 2020

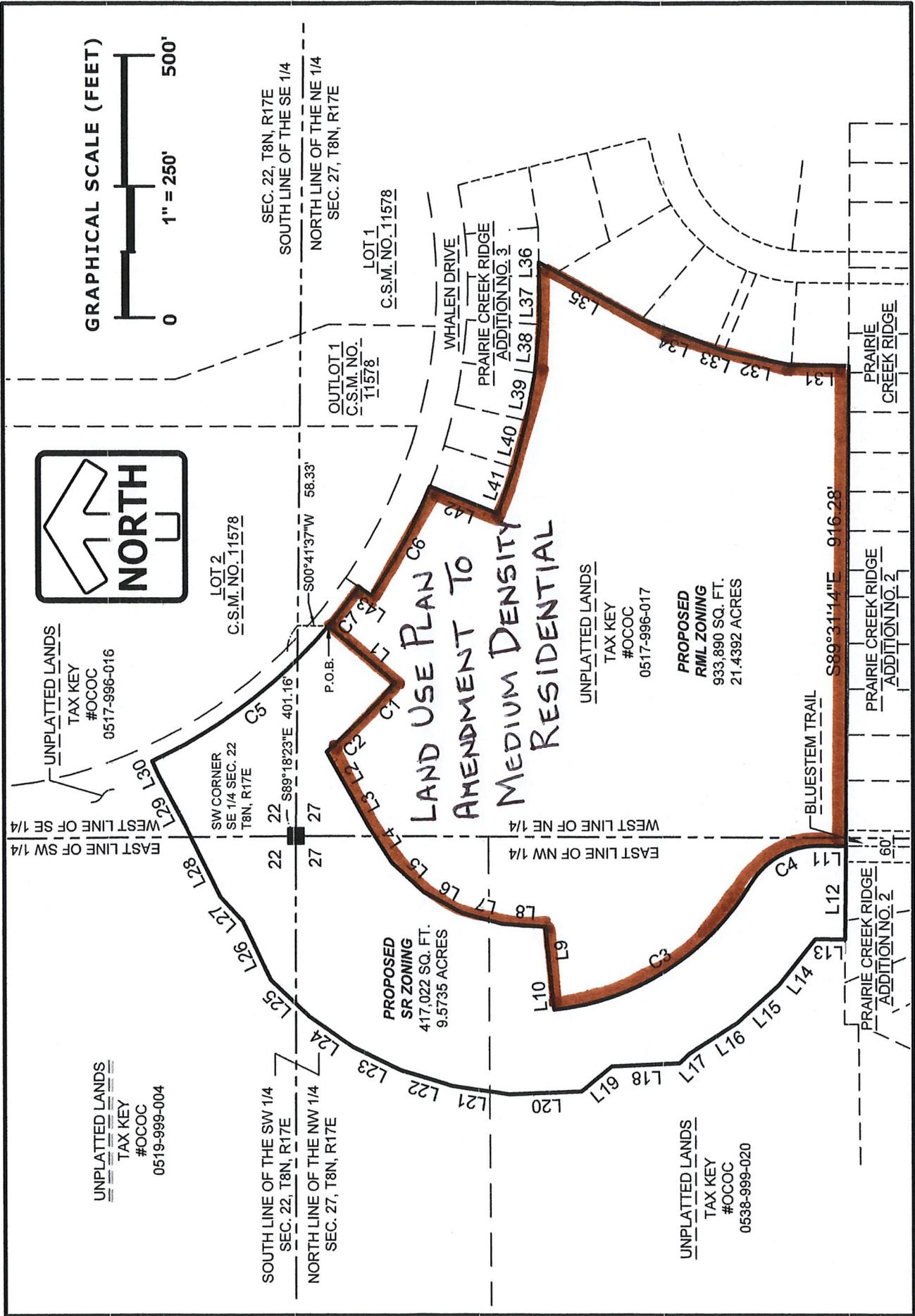
CITY OF OCONOMOWOC

ATTEST:

By: _____
Robert P. Magnus, Mayor

Diane Coenen, Clerk

Date Adopted:
Date Published:
Effective Date:



RE-ZONING EXHIBIT

PINNACLE ENGINEERING GROUP
 20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

SHEET 1 OF 3

08/21/2020

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LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S40°27'13"W	167.58'
L2	S60°45'28"W	82.10'
L3	S60°45'28"W	82.00'
L4	S56°49'34"W	81.91'
L5	S42°53'29"W	82.08'
L6	S28°55'41"W	81.98'
L7	S14°59'42"W	82.01'
L8	S04°08'46"W	81.95'
L9	S84°08'57"W	128.23'
L10	S84°08'57"W	30.00'
L11	S00°28'46"W	51.85'
L12	N89°31'14"W	178.37'
L13	N00°28'46"E	57.62'
L14	N51°47'10"W	111.44'
L15	N42°14'08"W	108.34'
L16	N32°49'11"W	108.34'
L17	N43°24'06"W	26.72'
L18	N02°24'54"W	130.00'
L19	N39°36'45"W	75.32'
L20	N02°24'54"W	138.23'
L21	N08°10'16"E	110.75'
L22	N17°02'40"E	102.11'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L23	N25°55'05"E	102.11'
L24	N34°47'30"E	102.11'
L25	N43°39'54"E	102.11'
L26	N64°37'18"E	124.46'
L27	N47°08'00"E	62.77'
L28	N63°39'13"E	130.06'
L29	N62°15'25"E	130.10'
L30	N65°03'06"E	30.00'
L31	N00°28'46"E	109.10'
L32	N11°51'10"E	130.59'
L33	N21°13'02"E	20.00'
L34	N20°48'50"E	149.59'
L35	N28°56'34"E	224.85'
L36	S88°59'42"W	25.79'
L37	S89°09'42"W	92.70'
L38	N84°07'10"W	92.58'
L39	N79°35'04"W	92.58'
L40	N75°02'59"W	92.58'
L41	N70°28'55"W	93.93'
L42	N21°49'07"E	140.00'
L43	N35°01'57"E	30.00'

CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	92.98'	1167.50'	N47°15'54"W	92.95'
C2	92.98'	1167.50'	N42°42'07"W	92.95'
C3	463.87'	500.00'	S32°25'42"E	447.41'
C4	155.73'	150.00'	S29°15'48"E	148.83'
C5	429.31'	1000.00'	S37°14'50"E	426.02'
C6	237.55'	1030.00'	N61°34'28"W	237.02'
C7	94.62'	1000.00'	N52°15'24"W	94.59'

RE-ZONING EXHIBIT

PINNACLE ENGINEERING GROUP

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SHEET 2 OF 3 08/21/2020

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LEGAL DESCRIPTION OF LAND TO BE ZONED SR - SINGLE FAMILY RESIDENTIAL:

Being a part of the Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 of Section 22 and a part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 27, all in Township 8 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the southwest corner of the Southeast 1/4 of said Section 22; thence South 89°18'23" East along the south line of said Southeast 1/4, 401.16 feet; thence South 00°41'37" West, 58.33 feet to the Point of Beginning;

Thence South 40°27'13" West, 167.58 feet to a point on a curve; thence northwesterly 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 47°15'54" West, 92.95 feet; thence continuing 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 42°42'07" West, 92.95 feet; thence South 60°45'28" West, 82.10 feet; thence South 60°45'28" West, 82.00 feet; thence South 56°49'34" West, 81.91 feet; thence South 42°53'29" West, 82.08 feet; thence South 28°55'41" West, 81.98 feet; thence South 14°58'42" West, 82.01 feet; thence South 04°08'46" West, 81.95 feet; thence South 84°08'57" West, 128.23 feet; thence South 84°08'57" West, 30.00 feet to a point on a curve; thence southeasterly 463.87 feet along the arc of said curve to the left, whose radius is 500.00 feet and whose chord bears South 32°25'42" East, 447.41 feet to a point of reverse curve; thence southeasterly 155.73 feet along the arc of said curve to the right, whose radius is 150.00 feet and whose chord bears South 00°28'46" East, 148.83 feet; thence South 00°28'46" West, 57.62 feet; thence North 51°47'10" West, 111.44 feet; thence North 42°14'08" West, 108.34; thence North 32°49'11" West, 108.34 feet; thence North 02°24'54" West, 130.00 feet; thence North 39°36'45" West, 75.32 feet; thence North 02°24'54" West, 138.23 feet; thence North 08°10'16" East, 102.11 feet; thence North 17°02'40" East, 102.11 feet; thence North 25°55'05" East, 102.11 feet; thence North 34°47'30" East, 102.11 feet; thence North 43°39'54" East, 102.11 feet; thence North 64°37'18" East, 124.46 feet; thence North 47°08'00" East, 62.77 feet; thence North 63°39'13" East, 130.06 feet; thence North 62°15'25" East, 130.10 feet; thence North 65°03'06" East, 30.00 feet to a point on a curve; thence southeasterly 429.31 feet along the arc of said curve to the left, whose radius is 1000.00 feet and whose chord bears South 37°14'50" East, 426.02 feet to the Point of Beginning.

LEGAL DESCRIPTION OF LAND TO BE ZONED RML - MULTI FAMILY RESIDENTIAL (LOW):

Being a part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Northeast 1/4 of said Section 27; thence South 89°18'23" East along the north line of said Northeast 1/4, 401.16 feet; thence South 00°41'37" West, 58.33 feet to the Point of Beginning;

Thence South 40°27'13" West, 167.58 feet to a point on a curve; thence northwesterly 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 47°15'54" West, 92.95 feet; thence continuing 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 42°42'07" West, 92.95 feet; thence South 60°45'28" West, 82.10 feet; thence South 60°45'28" West, 82.00 feet; thence South 56°49'34" West, 81.91 feet; thence South 42°53'29" West, 82.08 feet; thence South 28°55'41" West, 81.98 feet; thence South 14°58'42" West, 82.01 feet; thence South 04°08'46" West, 81.95 feet; thence South 84°08'57" West, 128.23 feet; thence South 84°08'57" West, 30.00 feet to a point on a curve; thence southeasterly 463.87 feet along the arc of said curve to the left, whose radius is 500.00 feet and whose chord bears South 32°25'42" East, 447.41 feet to a point of reverse curve; thence southeasterly 155.73 feet along the arc of said curve to the right, whose radius is 150.00 feet and whose chord bears South 29°15'48" East, 148.83 feet; thence South 00°28'46" West, 57.62 feet; thence North 51°47'10" West, 111.44 feet; thence North 42°14'08" West, 108.34; thence North 32°49'11" East, 108.34 feet and then continuing along the north line of Prairie Creek Ridge, 916.28 feet to the west line of Prairie Creek Ridge Addition No. 2; thence South 89°31'14" East along said north line;

North 00°28'46" East, 109.10 feet; North 11°51'10" East, 130.59 feet; North 21°13'02" East, 20.00 feet; thence North 20°48'50" East, 149.59 feet; North 28°56'34" East, 224.85 feet; South 88°59'42" West, 25.79 feet; South 89°09'42" West, 92.70 feet; North 84°07'10" West, 92.58 feet; North 79°35'04" West, 92.58 feet; North 75°02'59" West, 92.58 feet; North 70°28'55" West, 93.93 feet; North 21°49'07" East, 140.00 feet to the south right of way line of Whalen Drive;

Thence northwesterly 237.55 feet along the arc of said curve to the right and said south right of way line, whose radius is 1030.00 feet and whose chord bears North 61°34'28" West, 237.02 feet to the west right of way line of said Whalen Drive; thence North 35°01'57" East along said west right of way line, 30.00 feet to a point on a curve; thence northwesterly 94.62 feet along the arc of said curve to the right, whose radius is 1000.00 feet and whose chord bears North 52°15'24" West, 94.59 feet to the Point of Beginning.

RE-ZONING EXHIBIT

PINNACLE ENGINEERING GROUP

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SHEET 3 OF 3

08/21/2020

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Planning Staff Report

City of Oconomowoc

Plan Commission – 10/14/2020

Prairie Creek Ridge #5

Comprehensive Plan Amendment & Rezoning

Summary: An application was submitted for **two** specific requests:

- **Amend the City’s Comprehensive Land Use Plan 2050** for 21.4 acres from Suburban Residential to Medium Density Residential; and
- **Rezone** 31.01 acres, from Urban Reserve (UR) to Suburban Residential (SR) 9.6 acres and Residential Multi-Unit Low (RML) 21.4 acres, located in the Northeast Section of the City.

Property Location: North of Prairie Creek Ridge Addition #2 Sub., West of Prairie Creek Ridge Addition #3 Subdivision and South of Whalen Drive.

Formally identified as tax key number OCOC 0517.996.017 and part of tax key numbers OCOC 0538.999.020; OCOC 0519.999.004; and OCOC 0517.996.016

Property Owner: **L&N.M. Enterprises, LLC**
c/o Robert J. Miller Jr.
N68 W35460 CTH K
Oconomowoc, WI 53066

Applicant:	Mike Kaerek Kaerek Homes 11600 Lincoln Ave West Allis, WI 53227	Mike Bickler Prairie Creek Ridge Kettle Creek Homes 700 Pilgrim Parkway Elm Grove, WI 53122	Craig Caliendo Kettle Creek Homes 700 Pilgrim Parkway Elm Grove, WI 53122
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Location Map

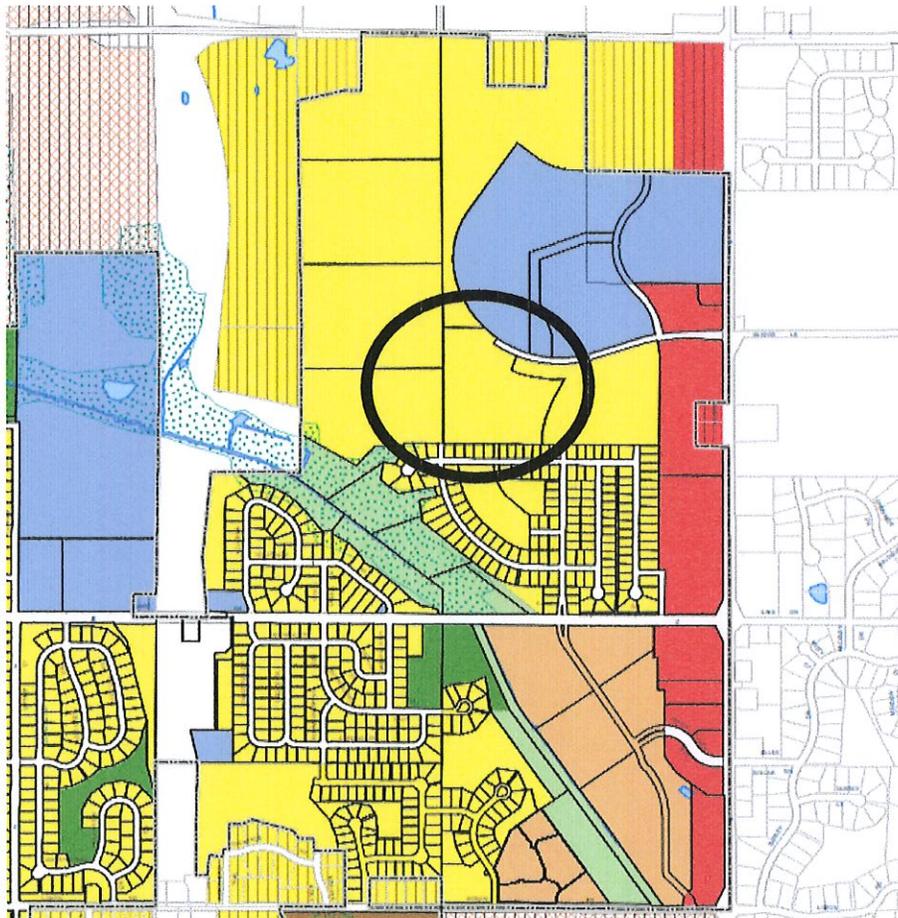
Land Use Plan Amendment:

The applicant is asking to change the City's Future Land Use Map found within the Comprehensive Plan 2050. The request is to change 21.4 acres from Suburban Residential to Medium Density Residential from The City's Comprehensive Land Use Plan shows the proposed future land use for these parcels as "Suburban Residential". See map below. The designated Suburban Residential use is intended to provide residential densities at a maximum of 3 dwelling units per acre. In general, the suburban residential district provides for the development of single-family homes at a range of lot sizes.

The proposed Medium Density Residential classification is intended for a range of residential units with a maximum density of 6 dwelling units per acre. This category provides for both single-family and multi-family developments, depending on the lot size and the characteristics.

2050 Comprehensive Land Use Map (Partial)

Per Smart Growth law, every municipal land use decision must be consistent with the City's Comprehensive Plan. The proposed change to the Land Use Plan would allow for the proposed multi-family zoning.



The current land use would allow 3 units per gross acre. The request is to change 21.4 acres, this acreage allows the developer 64 units by right. Medium Density residential allows for up to 6 units per gross acre, allowing 128 residential units.

Although this is not a Planned Development Overlay request, the applicant has submitted a general development plan that shows the number and type of units proposed within the designated 21 acres. There would be a total of 64 residential units, the same maximum density that would be allowed under the SR zoning. ***The request to change the land use designation is not to maximum density, but to allow for a different type of residential unit being duplexes and four-unit buildings.***

By developing the same number of residential units that is allowed under the Suburban Residential designation, staff supports the Land Use Plan amendment. There is no further burden on the City Utilities. The argument could be made there is less traffic, as the target buyer for the multi-family is empty nesters of retired age. This demographic generally takes less trips than families with children. Finally, the school district has shared that multi-family areas of the City provide less impact to the schools. The number of children coming from this development will be much less than if developed into single-family homes.

Zoning Amendment:

When reviewing if the **zoning** of any property should be changed, reviews should be done on several levels.

- First the adjacent uses should be reviewed to determine if the proposed zoning will be compatible with the surrounding land uses.
- Second the findings from the Zoning Ordinance below should be reviewed.

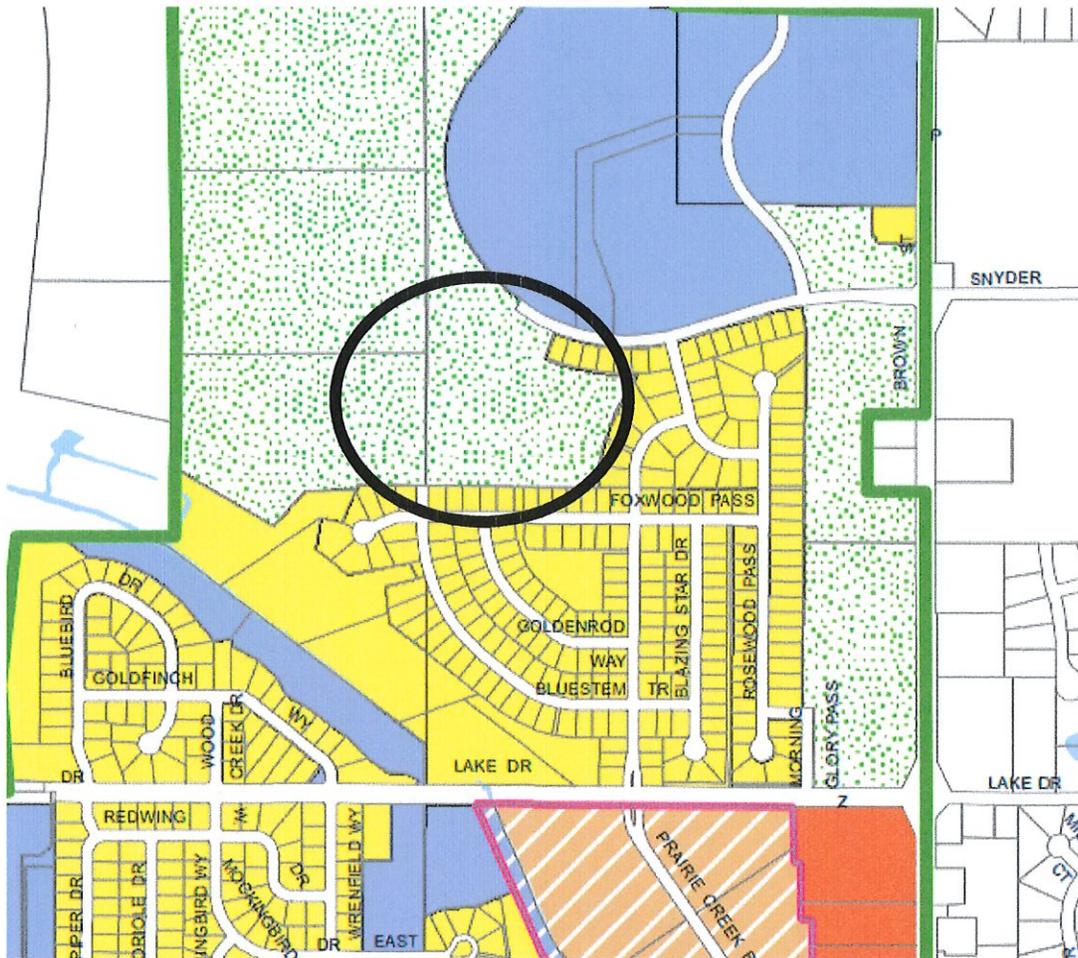
Based on the determination of these, the City Plan Commission and Common Council should determine if the rezoning request has merit.

Adjacent zonings

North	UR & IP Zoning
South	Suburban Residential Zoning
East	Suburban Residential Zoning
West	Urban Reserve Zoning

uses:

Vacant & Northeast Park
Single-Family Homes
Single-Family Homes
Vacant (future residential)



City Zoning Map – July 1, 2020 (Partial)

Why is the rezoning needed?

Currently the entire 31-acre area is zoned UR – Urban Reserve that acts as the City’s holding district for future residential. The applicant is asking to rezone 21.4 acres to RML Residential Multi-Unit Low, and the remaining 9.6 acres to SR Suburban Residential. The property owner is currently farming the site, so the UR, Urban Reserve District was in place to allow the continuation of the farming. Now that the land is intended to develop to homes, the zoning is needed.

Findings:

Per the City Ordinance Section 17.803(5)(a) with all rezoning applications the Zoning Administrator shall review the application and evaluate regarding the following standards:

1. How does the proposed map amendment further the purposes and intent of this Zoning Ordinance?

The current designation of UR zoning is meant to be a holding zone and not a permanent zoning district designation. The Land Use Plan currently shows that land as residential. This area is recognized as a growth area for the City.

2. Which of the following factors have arisen that are not properly addressed on the current Official Zoning Map?

a. The designations of the Official Zoning Map should be made consistent with the Comprehensive Plan; If the Land Use Plan is successfully amended (for the 21 acres), then the zoning map would be changed to be consistent with the Comprehensive Plan.

b. A mistake was made in mapping on the Official Zoning Map; No mistake was made in the zoning map. This was a holding zone intended to be changed in the future and the time has come.

c. Factors have changed, making the subject property more appropriate for a different district; There is residential development on three sides of areas being requested to change.

d. Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map. This particular site is viewed as an ideal site for future residential growth. The proposed mix of single-family and multi-family will provide the City with diverse housing options, including single-family, duplex and multi-family.

3. How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The City currently serves this area with municipal water, sewer & electric. The change in zoning will not impact the service level in this part of the City. The Land Use Plan identified this area as 3 DU's per acre. The overall density will be under that unit count with the proposed single-family and multi-family zoning districts.

Planning Comments:

Planning staff supports the application for the land use plan amendment and rezoning. Land use plan amendment and rezoning applications should be taken seriously. Once rezoned, the property owner has the right to develop the property with a different use that is currently reflected on the zoning maps. With that said, staff feels the current zoning of UR is a holding district and the time has come to change. The question comes down to the multi-family zoning in the middle of the single-family subdivision. Staff again supports the proposed zoning request. The density will be the same and provide diversity housing types. The goal of this development is to provide housing for grandparents to downsize and live near their children and grandchildren who are located in the nearby single-family subdivision.

Housing Ratios:

The City Land Use Plan (Housing Element – Page 45) discusses a desired ratio of the amount of single-family homes verses multi-family homes. For this purpose, multi-family include all structures greater than a single-family home. Duplex is considered a multi-family structure.

2019- Policy Change

In 2019, the desired housing ratio was discussed at length by the Land Use Plan Steering Committee. At that time, it was determined to maintain the 60% single-family / 40% multi-family ratio; however, a shift in policy was made that changed the condominiums designation from multi-family to single-family.

2020

As of earlier this year (2020) Planning Staff added Hackney House Apartments (formerly called Pabst Farms Apartments) 302 units and the Pine Ridge Estates West single-family subdivision (45 lots) to the housing count study.

9451 total units; 5629 total single-family (**59.56%**) and 3822 multi-family (**40.44%**)

Condominium Change to the Numbers

There are 794 "condominium units" existing or approved in the City of Oconomowoc.

When condominiums are shifted to be classified as single-family: 9451 total units; 6423 total single-family w/condominiums (**67.96%**) and 3028 multi-family (**32.04%**)

Prairie Creek Addition #5 Impact

This development will 23 single-family homes and 64 condominiums, all to be considered single-family for a total of 87 new residential units.

Housing Ratio with this development: 9538 total units;
6510 total single-family w/condominiums (**68.25%**) and 3028 multi-family (**31.75%**)

Project Next Steps:

This is the Land Use Plan Amendment and Rezoning request. If this is approved, there will be future applications that require review and approval. These include the subdivision plats for the single-family development that creates the individual lots and the outlot for the multi-family. The City Plan Commission will also need review the site plans for the multi-family plans. These include the site plan, grading plan, lighting and landscaping plans. The Architectural Commission will need to review any buildings larger than two-families.

Process for this Request:

Step 1 – Land Use Plan Amendment: “Suburban Residential” to “Medium Density Residential” (21.4 acres).

Step 2 – Rezoning from UR; Urban Reserve to Suburban Residential (9.6 acres) and UR to RML – Residential Multi-Unit Low (21.4 acres) .

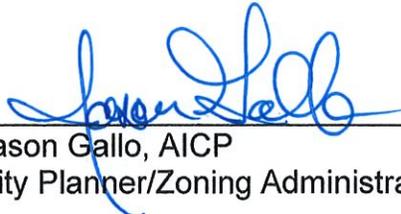
Step 3 – Preliminary Plat and Developers Agreement

Step 4 – Site plan & Architectural approvals for the multi-family development. Plan Commission and Architectural Commission review and act.

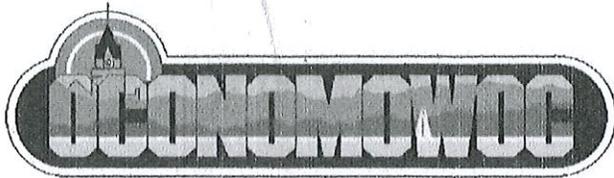
Recommendation:

Plan Commission **Approve** the Land Use Plan Resolution; and **Recommend** the Rezoning Ordinance for Prairie Creek Ridge Addition #5, located directly north of Prairie Creek Ridge Addition #2.

Submitted by: _____



Jason Gallo, AICP
City Planner/Zoning Administrator



STAFF RECOMMENDATION FORM

TYPE OF REQUEST: **COMPREHENSIVE PLAN AMENDMENT & REZONING**

PROJECT NAME: **PRAIRIE CREEK RIDGE - ADDITION #5**

TAX KEY NO.: **0517.996.017**

PROJECT ADDRESS/LOCATION: **NORTH OF PRAIRIE CREEK RIDGE ADDITION #2**

RECOMMENDATION SIGNATURES

CITY PLANNER: *[Signature]* Date: **9-15-20**
Comments:

CITY ENGINEER: *[Signature]* Date: **9-16-2020**
Comments:

DIRECTOR OF PUBLIC WORKS: *[Signature]* Date: **10-06-20**
Comments:

WASTEWATER: *[Signature]* Date: **10-02-2020**
Comments:

WATER: *[Signature]* Date: **9/15/20**
Comments:

ELECTRIC: *[Signature]* Date: **9-18-20**
Comments:

PARKS, RECREATION & FORESTRY: *[Signature]* Date: **9-15-20**
Comments:

POLICE CHIEF: *[Signature]* Date: **9-15-20**
Comments:

FIRE: *[Signature]* Date: **9-17-20**
Comments: **Ensure adequate fire access**

DIRECTOR OF FINANCE: *[Signature]* Date: **10/6/2020**
Comments: **for. Fair Balling**

ECONOMIC DEVELOPMENT DIRECTOR: *[Signature]* Date: **9/16/20**
Comments:

RESOLUTION NO. _____

CITY OF OCONOMOWOC PLAN COMMISSION RESOLUTION TO AMEND
THE CITY OF OCONOMOWOC COMPREHENSIVE PLAN 2050

WHEREAS, the City of Oconomowoc Common Council has created a Plan Commission pursuant to §62.23(1), Wis. Stats.; and

WHEREAS, it is the function and duty of the City Plan Commission pursuant to §62.23(2), Wis. Stats., to prepare and adopt a Master Plan as a whole or as parts thereof, which plans are to aid the Plan Commission and Common Council in making day-to-day development decisions; and

WHEREAS, the City of Oconomowoc Plan Commission recommended the adoption of a Master Plan, and the City of Oconomowoc Common Council adopted a Comprehensive Plan 2050 by ordinance on November 19, 2019; and

WHEREAS, the Land Use Element of the Comprehensive Plan 2050 and accompanying Figure 20 map titled "Future Land Use" identified on page 143 of the Comprehensive Plan identifies the parcel listed on Exhibit A attached hereto, which exhibit lists the parcel which is the subject of this resolution, with a land use of Suburban Residential as the proposed land use designation; and

WHEREAS, an application has been made by Mike Kaerek, Craig Caliendo, and Mike Bickler, Prairie Creek Ridge, LLC developers of Prairie Creek Ridge Subdivision, to amend the plan and map as shown on the City of Oconomowoc 2050 Future Land Use Map as amended, which is on file in the office of the Planning Department; and

WHEREAS, the purpose of amending the Land Use Plan and map is to meet the 14 local goals for comprehensive planning set forth in the Comprehensive Land Use Plan 2050 on page 16 of said plan, which lists the following 14 goals:

1. Promotion of the redevelopment of lands and rehabilitate existing residential, commercial and industrial structures.
2. Encourage neighborhood designs that support a range of transportation choices.
3. Protection of natural areas, including wetlands, wildlife habitats, lakes, woodlands, open spaces, and groundwater resources.
4. Protection of economically productive areas.
5. Encouragement of land uses, densities and regulations promoting efficient development patterns.

6. Preservation of cultural, historic and archeological sites.
7. Encouragement of coordination and cooperation among nearby units of government.
8. Building of community identity by revitalizing main streets and enforcing design standards.
9. Providing an adequate supply of affordable housing.
10. Providing adequate infrastructure and public services and an adequate supply of development land to meet market demand for residential, commercial and industrial uses.
11. Promoting the expansion or stabilization of the current economic base and creation of a range of employment opportunities.
12. Balancing individual property rights with community interests and goals.
13. Planning and development of land uses that create or preserve varied and unique urban and rural communities.
14. Providing an integrated, efficient and economic transportation system.

and

WHEREAS, the requested amendment would remove 21.4 acres of vacant land from the Suburban Residential classification as shown on Exhibit A attached hereto; and

WHEREAS, the intent of removing said acreage from the Suburban Residential designated future land use is to add said 21.4 acres to the Medium Density Residential land use; and

WHEREAS, Prairie Creek Ridge #5 Subdivision will be adjacent to Prairie Creek Ridge Subdivision and will be developed into a 64-unit residential condominium development consisting of 24 buildings (8 four-unit buildings and 16 two-unit buildings); and

WHEREAS, the requested amendment would meet the intent of the City of Oconomowoc Comprehensive Land Use Plan 2050 as outlined in the Land Use Element of said land use plan, which element is set forth on pages 136-148 of said plan; and

WHEREAS, the city has duly noticed and held a public hearing on the proposed amendment, following the procedures in §66.1001(4)(d), Wis. Stats., and the public participation procedures for comprehensive plan amendments adopted by the city as

required by §66.1001, Wis. Stats., and Ordinance No. 19-O964 adopted November 19, 2019.

NOW THEREFORE, BE IT HEREBY RESOLVED that pursuant to §66.1001(4)(b), Wis. Stats., the Plan Commission of the City of Oconomowoc recommends that the Common Council of the City of Oconomowoc adopt an ordinance amending the City of Oconomowoc Comprehensive Plan 2050 by amending the land use of the parcel identified on the attached Exhibit A from the current land use designation of Suburban Residential to the proposed land use designation of Medium Density Residential set forth on said exhibit.

BE IT FURTHER RESOLVED that this resolution is required to be adopted by a majority vote of the entire Plan Commission under §66.1001(4)(b), Wis. Stats., and that the vote be recorded in the official minutes of the Plan Commission.

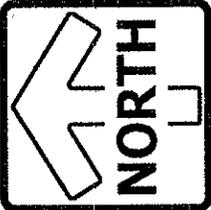
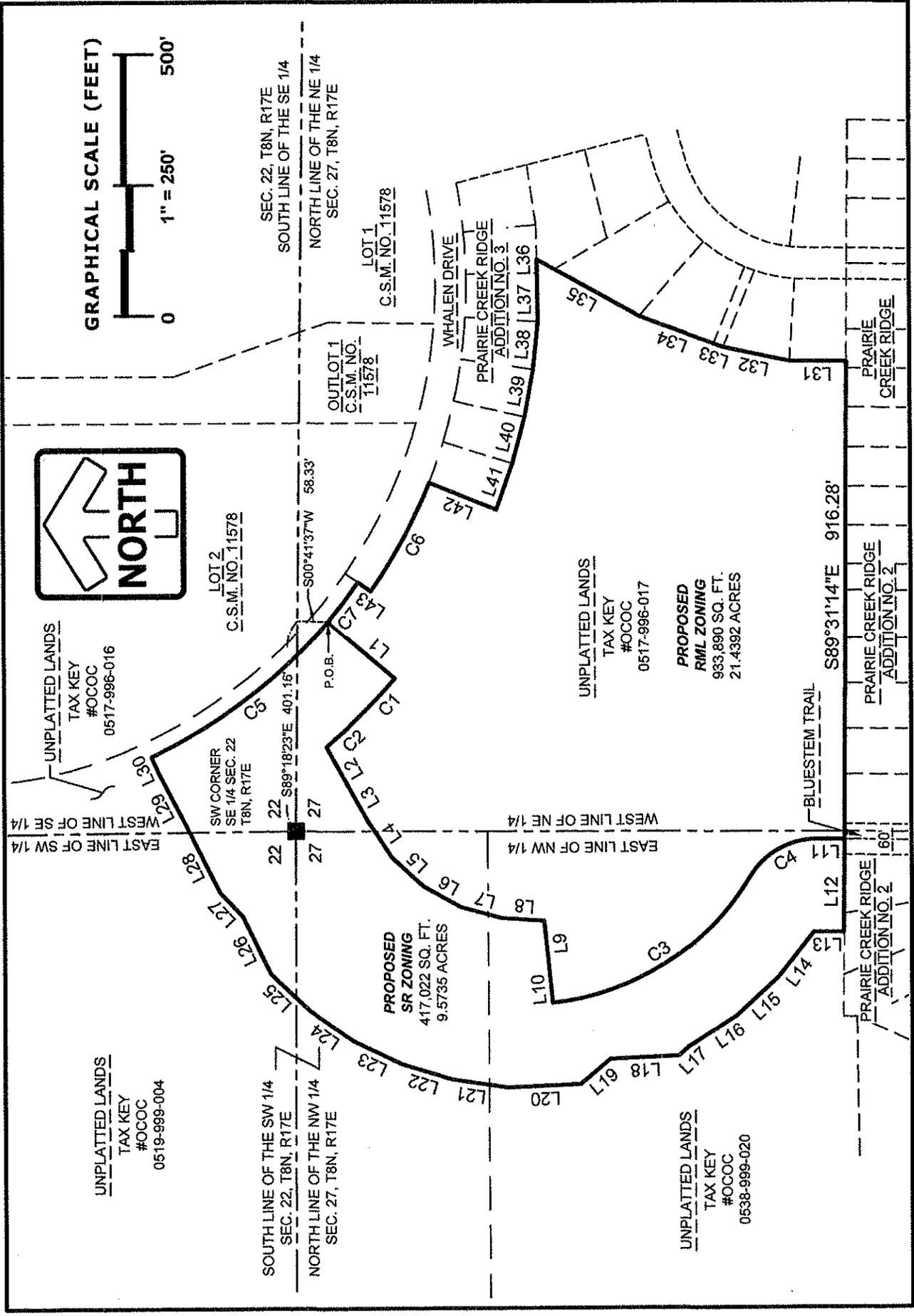
DATED: _____

CITY OF OCONOMOWOC
PLAN COMMISSION

By: _____
Robert Magnus, Chairman

ATTEST:

Chris Dehnert, Secretary



RE-ZONING EXHIBIT

SHEET 1 OF 3

08/21/2020

PINNACLE ENGINEERING GROUP

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PEG JOB # 218.50

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L12	N89°31'14"W	178.37'
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LINE TABLE		
LINE NO.	BEARING	DISTANCE
L23	N25°55'05"E	102.11'
L24	N34°47'33"E	102.11'
L25	N43°39'54"E	102.11'
L26	N64°37'18"E	124.46'
L27	N47°08'00"E	62.77'
L28	N63°39'13"E	130.06'
L29	N62°15'25"E	130.10'
L30	N65°03'06"E	30.00'
L31	N00°28'46"E	109.10'
L32	N11°51'10"E	130.59'
L33	N21°13'02"E	20.00'
L34	N20°48'50"E	149.59'
L35	N28°56'34"E	224.85'
L36	S88°59'42"W	25.79'
L37	S89°09'42"W	92.70'
L38	N84°07'10"W	92.58'
L39	N79°35'04"W	92.58'
L40	N75°02'59"W	92.58'
L41	N70°28'55"W	93.93'
L42	N21°49'07"E	140.00'
L43	N35°01'57"E	30.00'

CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	92.98'	1167.50'	N47°15'54"W	92.95'
C2	92.98'	1167.50'	N42°42'07"W	92.95'
C3	463.87'	500.00'	S32°25'42"E	447.41'
C4	155.73'	150.00'	S29°15'48"E	148.83'
C5	429.31'	1000.00'	S37°14'50"E	426.02'
C6	237.55'	1030.00'	N61°34'28"W	237.02'
C7	94.62'	1000.00'	N52°15'24"W	94.59'

RE-ZONING EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

SHEET 2 OF 3 08/21/2020

PLAN | DESIGN | DELIVER

WWW.PINNACLE-ENGR.COM

PEG JOB # 218.50

LEGAL DESCRIPTION OF LAND TO BE ZONED SR - SINGLE FAMILY RESIDENTIAL:

Being a part of the Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Southwest 1/4 of Section 22 and a part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 27, all in Township 8 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the southwest corner of the Southeast 1/4 of said Section 22; thence South 89°18'23" East along the south line of said Southeast 1/4, 401.16 feet; thence South 00°41'37" West, 58.33 feet to the Point of Beginning;

Thence South 40°27'13" West, 167.58 feet to a point on a curve; thence northwesterly 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 47°15'54" West, 92.95 feet; thence continuing 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 42°42'07" West, 92.95 feet; thence South 60°45'28" West, 82.10 feet; thence South 60°45'28" West, 82.00 feet; thence South 56°49'34" West, 81.91 feet; thence South 42°53'29" West, 82.08 feet; thence South 28°55'41" West, 81.98 feet; thence South 14°58'42" West, 82.01 feet; thence South 04°08'46" West, 81.95 feet; thence South 84°08'57" West, 128.23 feet; thence South 84°08'57" West, 30.00 feet to a point on a curve; thence southeasterly 463.87 feet along the arc of said curve to the left, whose radius is 500.00 feet and whose chord bears South 32°25'42" East, 447.41 feet to a point of reverse curve; thence southeasterly 155.73 feet along the arc of said curve to the right, whose radius is 150.00 feet and chord bears South 32°25'42" East, 148.83 feet; thence North 00°28'46" East, 57.62 feet; thence North 51°47'10" West, 111.44 feet; thence North 42°14'08" West, 108.34; thence North 32°49'11" along said north line, 178.37 feet; thence North 00°28'46" East, 57.62 feet; thence North 02°24'54" West, 130.00 feet; thence North 39°36'45" West, 75.32 feet; thence North 02°24'54" West, 108.34 feet; thence North 43°24'06" West, 26.72 feet; thence North 02°24'54" West, 130.00 feet; thence North 39°36'45" West, 75.32 feet; thence North 02°24'54" West, 138.23 feet; thence North 08°10'16" East, 110.75 feet; thence North 17°02'40" East, 102.11 feet; thence North 25°55'05" East, 102.11 feet; thence North 34°47'30" East, 102.11 feet; thence North 43°39'54" East, 102.11 feet; thence North 64°37'18" East, 124.46 feet; thence North 47°08'00" East, 62.77 feet; thence North 63°39'13" East, 130.06 feet; thence North 62°15'25" East, 130.10 feet; thence North 65°03'06" East, 30.00 feet to a point on a curve; thence southeasterly 429.31 feet along the arc of said curve to the left, whose radius is 1000.00 feet and whose chord bears South 37°14'50" East, 426.02 feet to the Point of Beginning.

LEGAL DESCRIPTION OF LAND TO BE ZONED RML - MULTI FAMILY RESIDENTIAL (LOW):

Being a part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Northeast 1/4 of said Section 27; thence South 89°18'23" East along the north line of said Northeast 1/4, 401.16 feet; thence South 00°41'37" West, 58.33 feet to the Point of Beginning;

Thence South 40°27'13" West, 167.58 feet to a point on a curve; thence northwesterly 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 47°15'54" West, 92.95 feet; thence continuing 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 42°42'07" West, 92.95 feet; thence South 60°45'28" West, 82.10 feet; thence South 60°45'28" West, 82.00 feet; thence South 56°49'34" West, 81.91 feet; thence South 42°53'29" West, 82.08 feet; thence South 28°55'41" West, 81.98 feet; thence South 14°58'42" West, 82.01 feet; thence South 04°08'46" West, 81.95 feet; thence South 84°08'57" West, 128.23 feet; thence South 84°08'57" West, 30.00 feet to a point on a curve; thence southeasterly 463.87 feet along the arc of said curve to the left, whose radius is 500.00 feet and whose chord bears South 32°25'42" East, 447.41 feet to a point of reverse curve; thence southeasterly 155.73 feet along the arc of said curve to the right, whose radius is 150.00 feet and whose chord bears South 32°25'42" East, 148.83 feet; thence South 00°28'46" West, 51.85 feet to the north line of Prairie Creek Ridge Addition No. 2; thence South 89°31'14" East along said north line and then continuing along the north line of Prairie Creek Ridge, 916.28 feet to the west line of Prairie Creek Ridge Addition No. 3; thence the following courses along said west line:

North 00°28'46" East, 109.10 feet; North 11°51'10" East, 130.59 feet; North 21°13'02" East, 20.00 feet; thence North 20°48'50" East, 149.59 feet; North 28°56'34" East, 224.85 feet; South 88°59'42" West, 25.79 feet; South 89°09'42" West, 92.70 feet; North 84°07'10" West, 92.58 feet; North 79°35'04" West, 92.58 feet; North 75°02'59" West, 92.58 feet; North 70°28'55" West, 93.93 feet; North 21°49'07" East, 140.00 feet to the south right of way line of Whalen Drive;

Thence northwesterly 237.55 feet along the arc of said curve to the right and said south right of way line, whose radius is 1030.00 feet and whose chord bears North 61°34'28" West, 237.02 feet to the west right of way line of said Whalen Drive; thence North 35°01'57" East along said west right of way line, 30.00 feet to a point on a curve; thence northwesterly 94.62 feet along the arc of said curve to the right, whose radius is 1000.00 feet and whose chord bears North 52°15'24" West, 94.59 feet to the Point of Beginning.

RE-ZONING EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

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PLAN | DESIGN | DELIVER

PEGJOB#218.50

SHEET 3 OF 3

08/21/2020



Development Application

Department of City Planning
 174 E. Wisconsin Avenue Oconomowoc, WI
 www.oconomowoc-wi.gov | 262.569.2166

X	Description	Administrative Fee
	Administrative Design Review	\$ 75.00
	Major Design Review	\$ 75.00
	Conditional Use Permit	\$ 500.00
	Zoning Determination Letter	\$ 100.00
	Temporary Use Permit	\$ 75.00
	Temporary Use Permit - Renewal	No Charge
	Variance	\$ 425.00
	Special Exceptions	\$ 425.00
	Appeals of Zoning Administrator	\$ 300.00
X	Zoning Map Amendment (From UR To SR/RML)	\$ 425.00
	Zoning Text Amendment	\$ 425.00
X	Comprehensive Plan Amendment	\$ 300.00
	Planned Development District	No Charge
	Step 1: Pre-application Conference	
	Step 2: Concept Plan Review	\$ 75.00
	Step 3: General Development Plan Review	\$ 200.00
	Preliminary or Final Plat Review	\$ 75.00
	Certified Survey Map or Extraterritorial Plat/CSM Review	\$ 75.00

*NOTE: Administrative filing fees are due at the time an application is filed with the City Clerk's Office and are not refundable. In addition to the Administrative fees, City Staff time (City Engineer, City Planner & City Attorney) will be charged back to the applicant. The Applicant will receive monthly invoices of payments due.

Date: 09/17/2020

Project/Business Name: Prairie Creek Ridge Addition No. 5

Address/Location: Whalen Drive (East of Brown Street and North of Lake Drive)

City, State, Zip Code: Oconomowoc, WI 53066

Proposed Use of Property: Residential - Subdivision and Multi-Family Residential (Low)

Applicant:	Mike Kaerek Kaerek Homes 11800 W Lincoln Avenue West Allis, WI 53227 Ph: 414-321-5300 mikekaerek@kaerekhomes.com	Property Owner:	L&N.M., Enterprises LLC c/o Robert J. Miller, Jr. N68 W 35460 CTH "K"
Address:		Address:	
City/State/Zip:		City/State/Zip:	Oconomowoc, WI 53066
Phone:	Craig Caliendo Kettle Creek Homes 700 Pilgrim Parkway Elm Grove, WI 53122	Phone:	262-966-2702
E-mail:		E-mail:	rmillerfarms@att.net
Signature:	Mike Bickler, Prairie Creek Ridge LLC. mbickler@stonewoodcompanies.com 414-870-8705	Signature:	<i>Robert Miller</i>

This form is not valid unless signed by Owner or Agent under a written power-of-attorney (please provide). I, Owner/one of the Owner's of the property, declare that this application (including any accompanying documents) has been examined by me and to the best of my knowledge and belief is true, correct and complete. I further accept all liability, which may be a result of the City of Oconomowoc relying on this information I am providing in this application.



7/15/2020

PLAN | DESIGN | DELIVER

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM |

PRARIE CREEK RIDGE EXPANSION
 PINNACLE ENGINEERING GROUP



SR ZONING
 SINGLE FAMILY RESIDENTIAL:
 TOTAL ACRES: 9.57 ACRES
 # OF LOTS: 23
 DENSITY: 2.40 LOTS PER ACRE

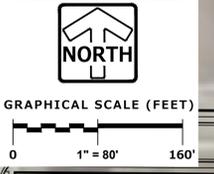
RML ZONING
 MULTI FAMILY RESIDENTIAL (LOW)
 CONDOMINIUM/ P.D.:
 TOTAL ACRES: 21.6 ACRES
 # OF BUILDINGS: 24 BUILDINGS
 (64 UNITS)
 DENSITY: 2.96 UNITS PER ACRE

MEADOW VIEW
ELEMENTARY SCHOOL

REGIONAL
STORMWATER
POND

FUTURE
SINGLE FAMILY
DEVELOPMENT

INFILTRATION
BASIN



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SR ZONING
 SINGLE FAMILY RESIDENTIAL:
 TOTAL ACRES: 9.57 ACRES
 # OF LOTS: 23
 DENSITY: 2.40 LOTS PER ACRE

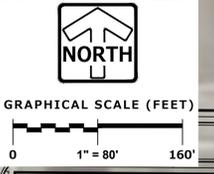
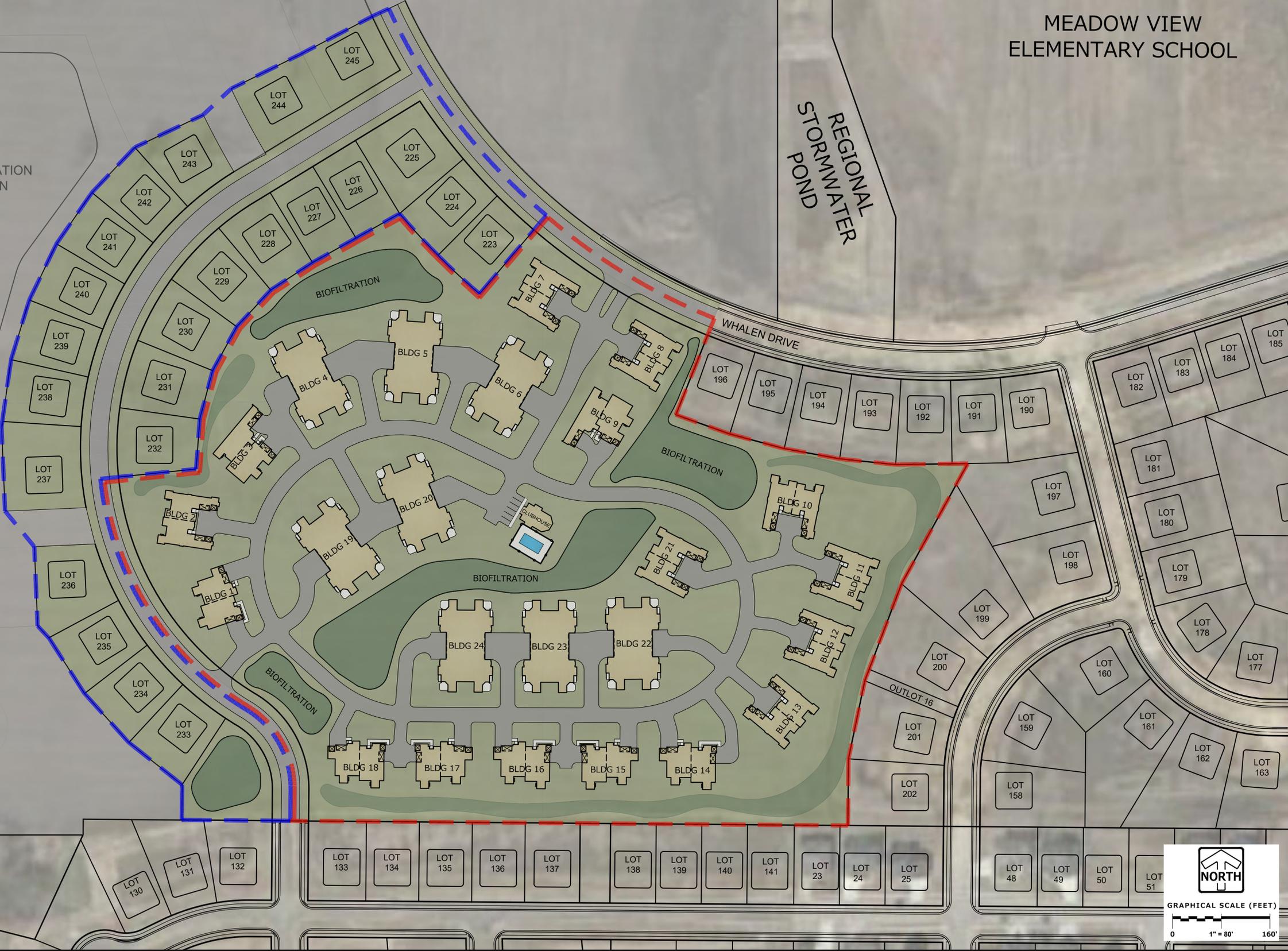
RML ZONING
 MULTI FAMILY RESIDENTIAL (LOW)
 CONDOMINIUM/ P.D.:
 TOTAL ACRES: 21.6 ACRES
 # OF BUILDINGS: 24 BUILDINGS
 (64 UNITS)
 DENSITY: 2.96 UNITS PER ACRE

MEADOW VIEW
ELEMENTARY SCHOOL

REGIONAL
STORMWATER
POND

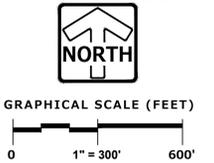
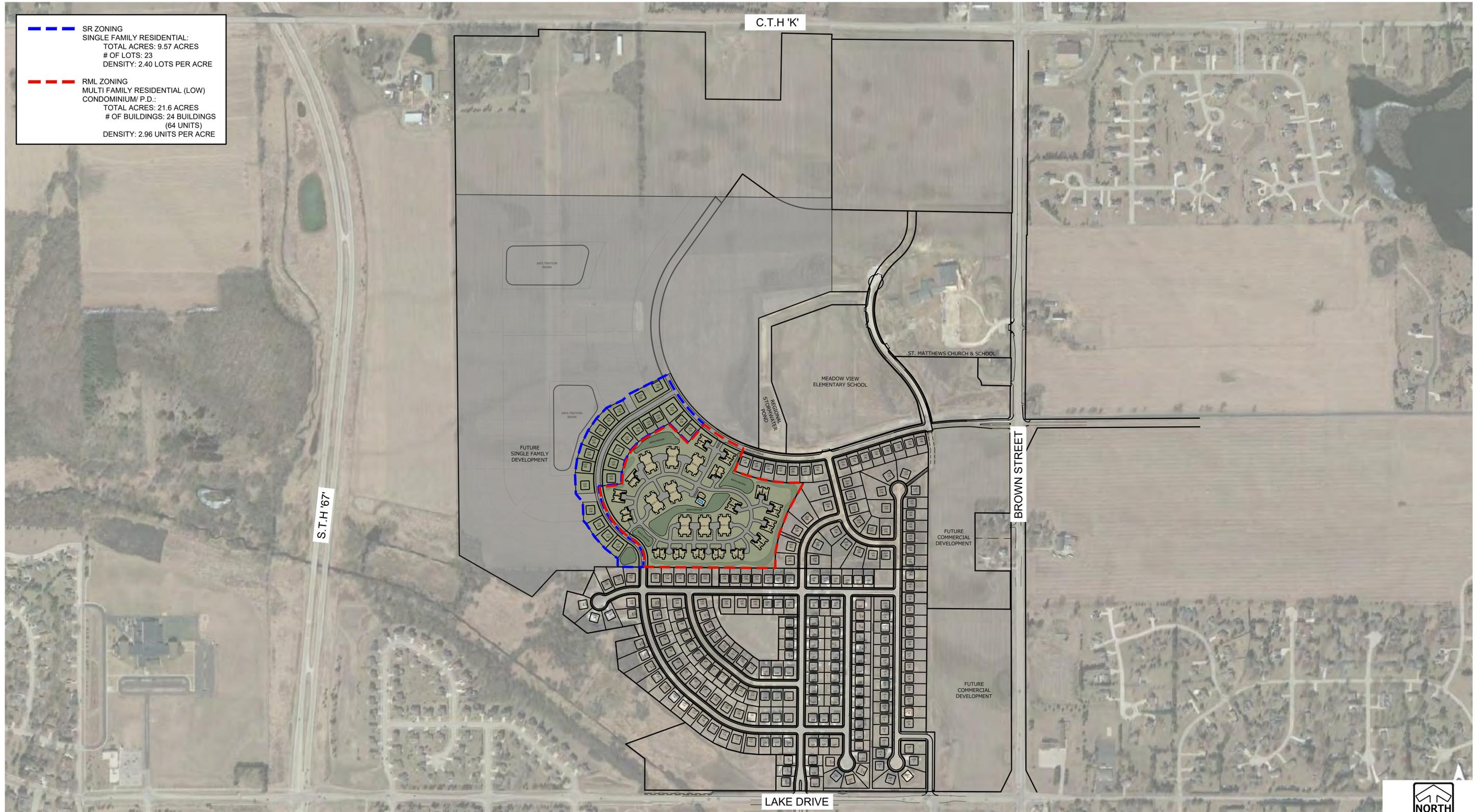
INFILTRATION
BASIN

FUTURE
SINGLE FAMILY
DEVELOPMENT



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- — — SR ZONING
SINGLE FAMILY RESIDENTIAL:
TOTAL ACRES: 9.57 ACRES
OF LOTS: 23
DENSITY: 2.40 LOTS PER ACRE
- — — RML ZONING
MULTI FAMILY RESIDENTIAL (LOW)
CONDOMINIUM/ P.D.:
TOTAL ACRES: 21.6 ACRES
OF BUILDINGS: 24 BUILDINGS
(64 UNITS)
DENSITY: 2.96 UNITS PER ACRE



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PRARIE CREEK RIDGE EXPANSION - REZONING AREA MAP

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 218.50

8/20/2020



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PRARIE CREEK RIDGE EXPANSION EMERGENCY ACCESS - NORTH

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 218.50

8/20/2020



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PRARIE CREEK RIDGE EXPANSION EMERGENCY ACCESS - SOUTH

8/20/2020

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 218.50

Owner: DARTMOOR INVESTMENTS
 Site: VILLAGE CROSSING II, OCONOMOWOC

LEFT UNIT
 Job Number: VIL-----
 Model: ARDENNES
 Address: -----

RIGHT UNIT
 Job Number: VIL-----
 Model: ARDENNES
 Address: -----

CONSTRUCTION SUPERINTENDENT & DATE

- SHEET INDEX**
1. FRONT ELEVATION
 2. FLOOR PLAN
 3. BASEMENT PLAN
 4. SIDE ELEVATIONS
 5. REAR ELEVATION
 6. SECTION
 7. DETAILS
 8. ELECTRICAL PLAN
 9. SHEAR WALL BRACING PLAN



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

VILXXXX
DWELLING SQUARE FOOTAGES

LIVING AREAS:	1485 S.F.
FIRST FLOOR LIVING AREA:	1485 S.F.
FINISHED LOWER LEVEL LIVING AREA:	---
TOTAL LIVING AREA:	1485 S.F.
NON-LIVING AREAS:	339 S.F.
FRONT PORCH AREA:	484 S.F.
GARAGE AREA:	1484 S.F.
UNFINISHED BASEMENT AREA:	1391 S.F.

**ALLIANCE WINDGATE SERIES
 WINDOWS & PATIO DOORS**

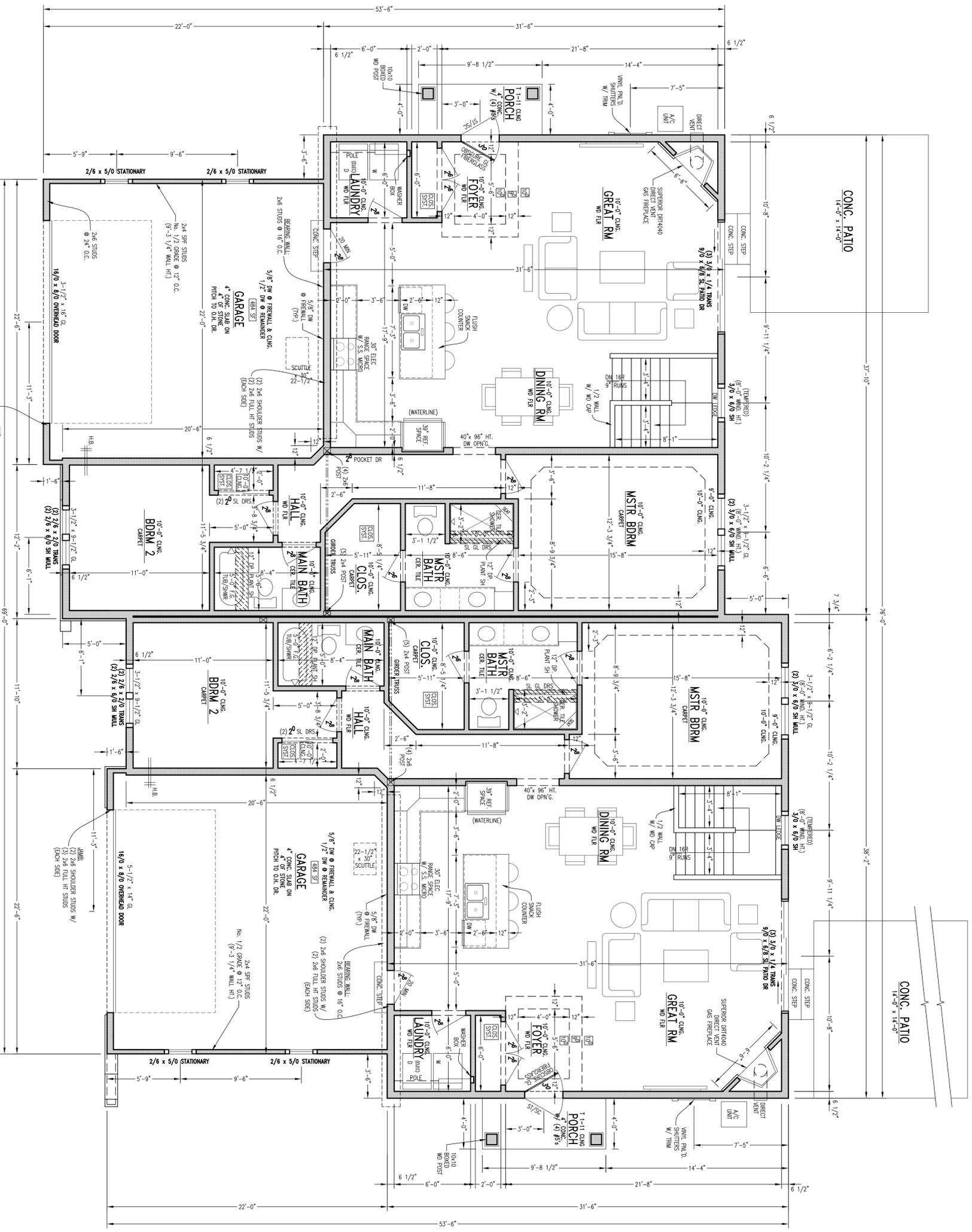
VILXXXX
DWELLING SQUARE FOOTAGES

LIVING AREAS:	1485 S.F.
FIRST FLOOR LIVING AREA:	1485 S.F.
FINISHED LOWER LEVEL LIVING AREA:	---
TOTAL LIVING AREA:	1485 S.F.
NON-LIVING AREAS:	339 S.F.
FRONT PORCH AREA:	484 S.F.
GARAGE AREA:	1484 S.F.
UNFINISHED BASEMENT AREA:	1391 S.F.

PURCHASE ORDER
 Required

KINGS WAY		MODEL	THE ARDENNES
HOMES, L.L.C.			VILXXXX
700 PILGRIM PARKWAY			VILXXXX
SUITE 100		DATE REVISED	
ELM GROVE, WI.		06/11/17	06/10/19
Phone (262) 797-3600		06/05/18	10/23/19
		08/13/18	11/07/19
		SHEET NO. #	1

VILXXXX / VILXXXX



ARDENNES FLOOR PLAN

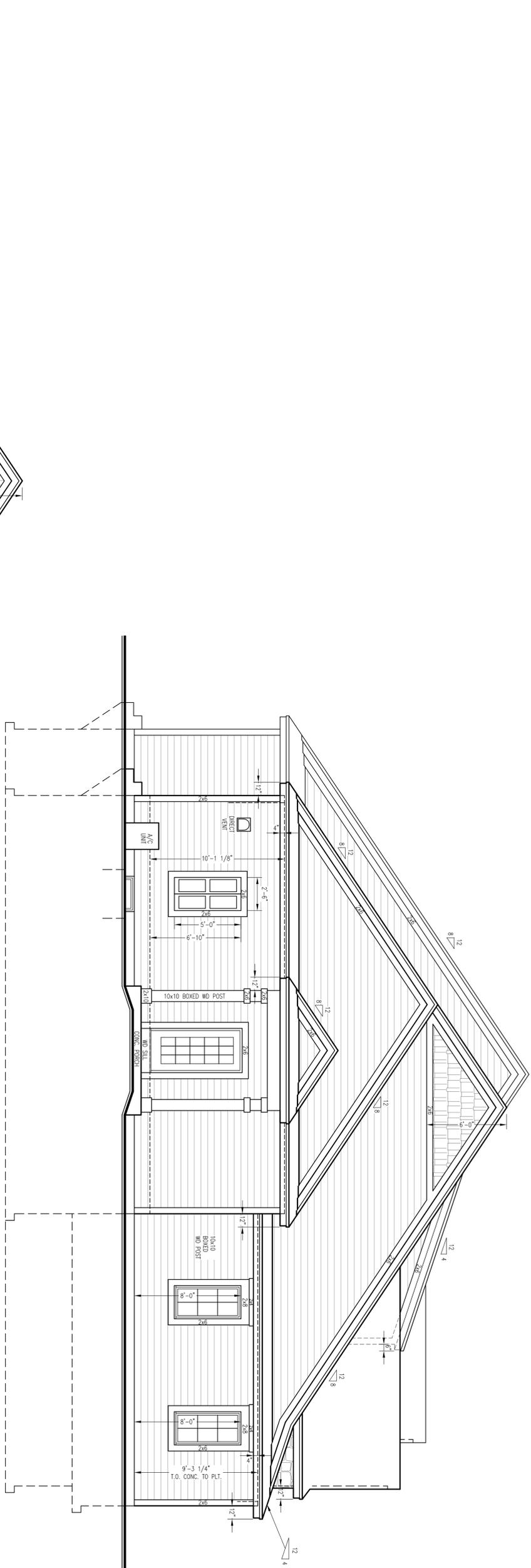
VILXXXX
1-5-5 S.F.

- NOTE:**
- 6'-8" DOOR HEIGHTS THROUGHOUT
 - ALLANCE INDICATE SERIES WINDOWS & PATIO DRS W/ JAMB & CASING
 - SOLID CORE INTERIOR DOORS

- NOTE:**
- DOOR AND WINDOW HEADERS ARE TO BE (2) 2x4 S.P.F. NO. 1-2 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
 - ALL DOOR AND WINDOW CASING ARE TO BE (1) 2x6 S.P.F. SHOULDER STUDS ARE TO BE (2) 2x6 S.P.F. FULL HT. STUDS
 - SOLID BLOCKING UNDER ALL POSTS
 - UNLESS OTHERWISE NOTED, FINISHES ARE: 2x4 WOOD STUDS @ 16" O.C. 2x4 WOOD EXTERIOR WALL FRAMING @ 12" O.C. 2x6 WOOD EXTERIOR WALL FRAMING @ 24" O.C.

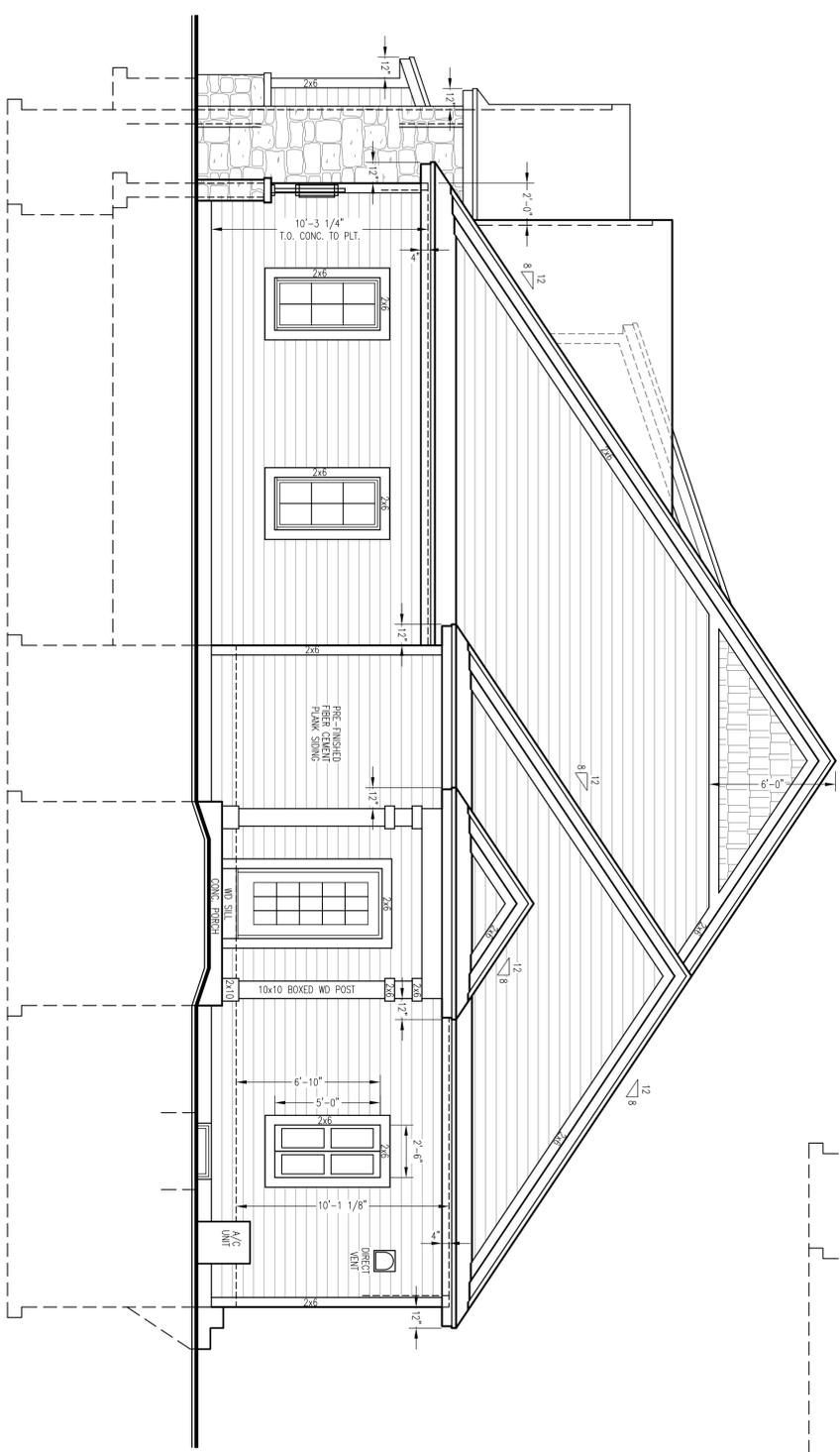
ARDENNES FLOOR PLAN

VILXXXX
1-5-5 S.F.



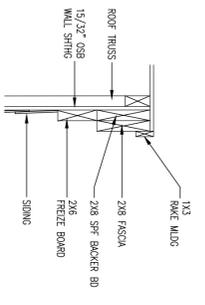
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



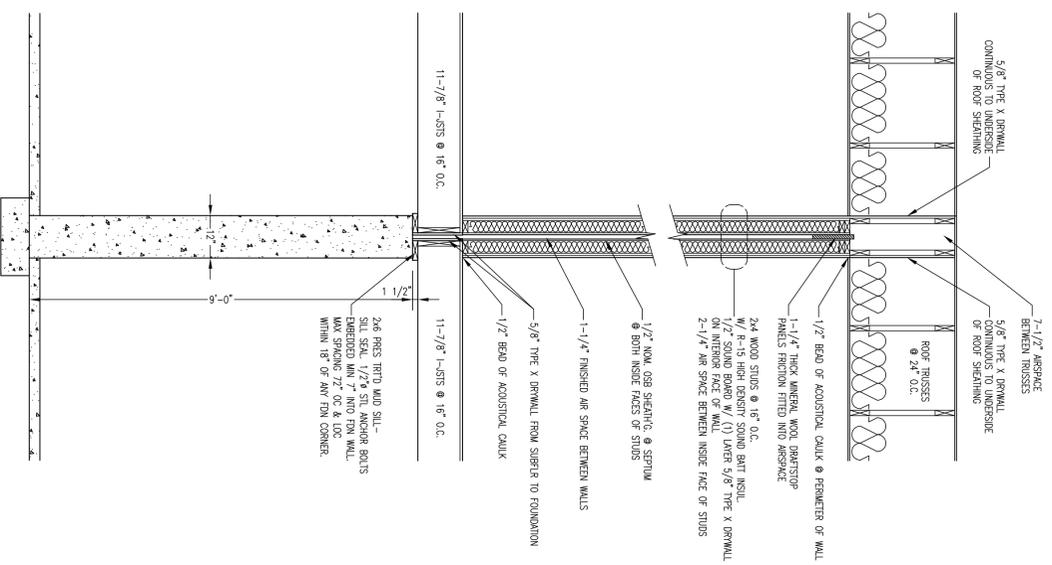
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



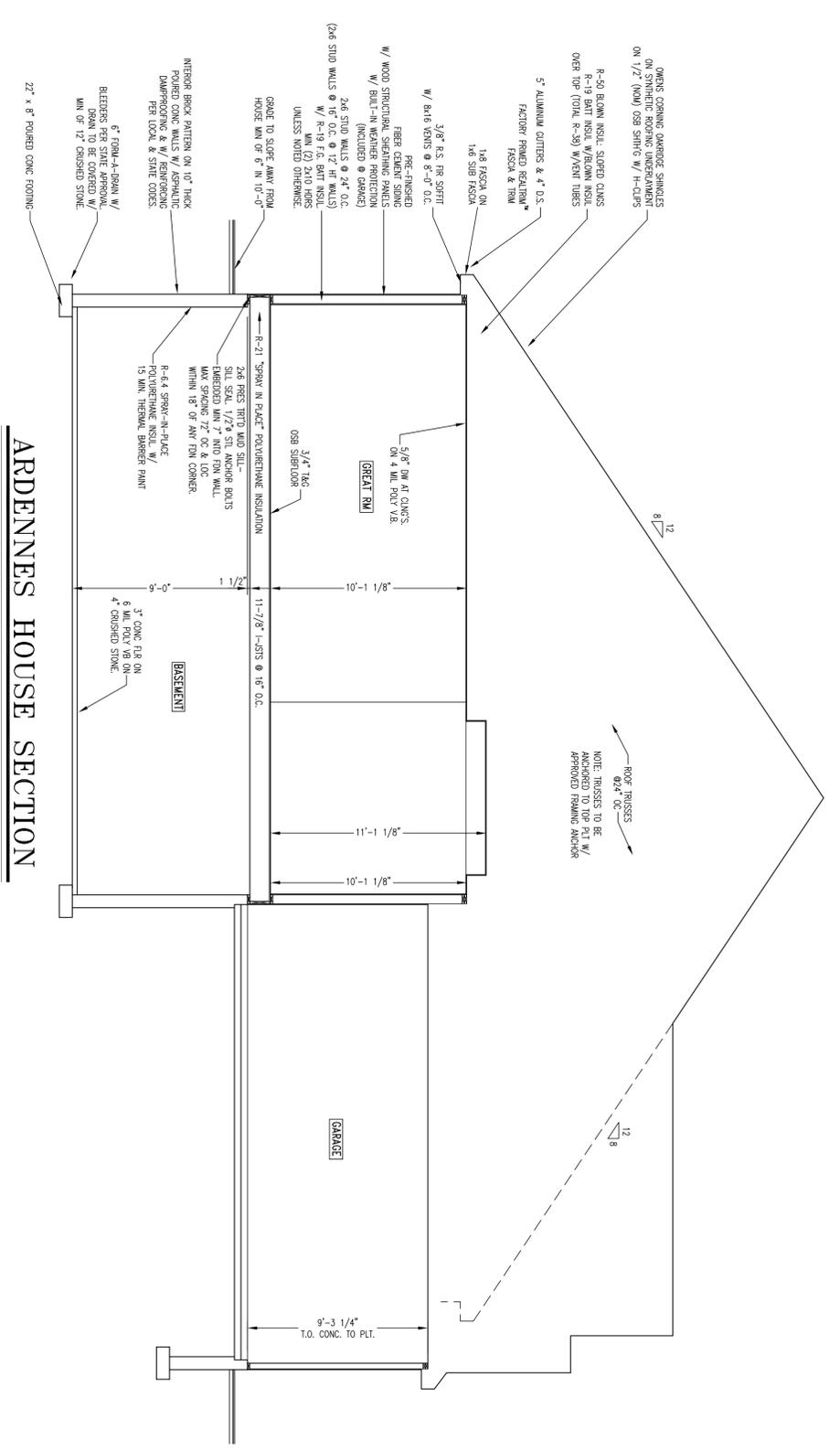
DBL RAKE DETAIL

SCALE: 1" = 1'-0"



UNIT SEPARATION ASSEMBLY

SCALE: 1/2" = 1'-0"



ARDENNES HOUSE SECTION

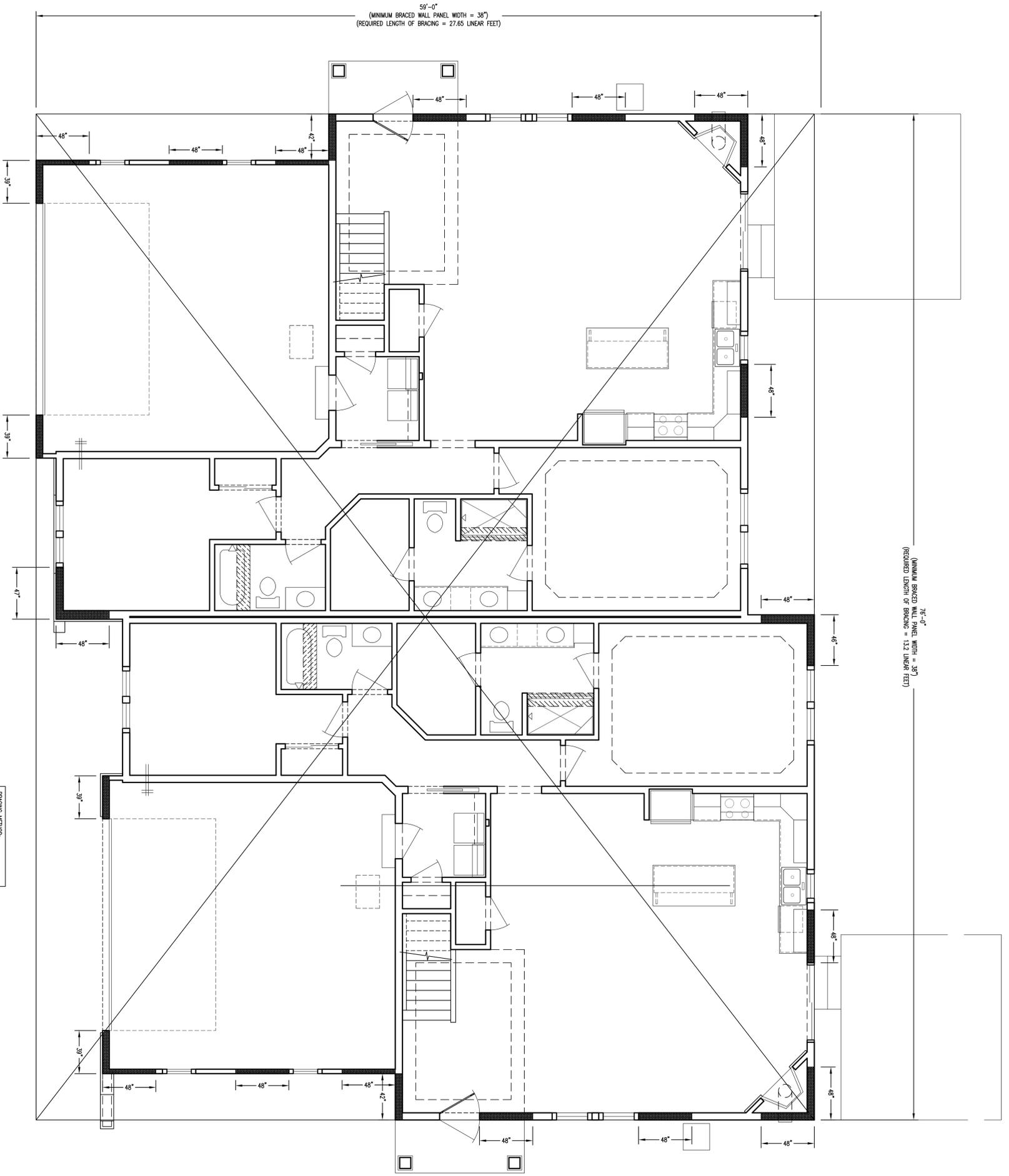
SCALE: 1/4" = 1'-0"



VIIXXXX
ELECTRICAL PLAN

VIIXXXX
ELECTRICAL PLAN

NOTE:
 • BOTH UNITS
 • (A) LOCATIONS ON/UP/ROGS SINGLE PANE JACKS
 • TOGGLE SWITCHES



59'-0"
 (MINIMUM BRACED WALL PANEL WIDTH = 30")
 (REQUIRED LENGTH OF BRACING = 27.65 LINEAR FEET)

75'-0"
 (MINIMUM BRACED WALL PANEL WIDTH = 30")
 (REQUIRED LENGTH OF BRACING = 13.2 LINEAR FEET)

BRACED WALL PANEL RESTRAINTS:
 7/16" CROWN TO CORNER STRIPS (1'-1/4" LONG)
 SPACING (MAX.)
 WALLS: 6" @ SPACING, PANEL EDGES
 7" @ FIELD
 STAIRS: 3" @ SPACING, PANEL EDGES
 6" @ FIELD

BRACING METHOD:
 CS-WSP CONTINUOUS SHEARING

SHEAR WALL BRACING PLAN

SCALE: 1/8" = 1'-0"

Owner: DARTMOOR INVESTMENTS
 Site: VILLAGE CROSSING II, OCONOMOWOC

LEFT UNIT

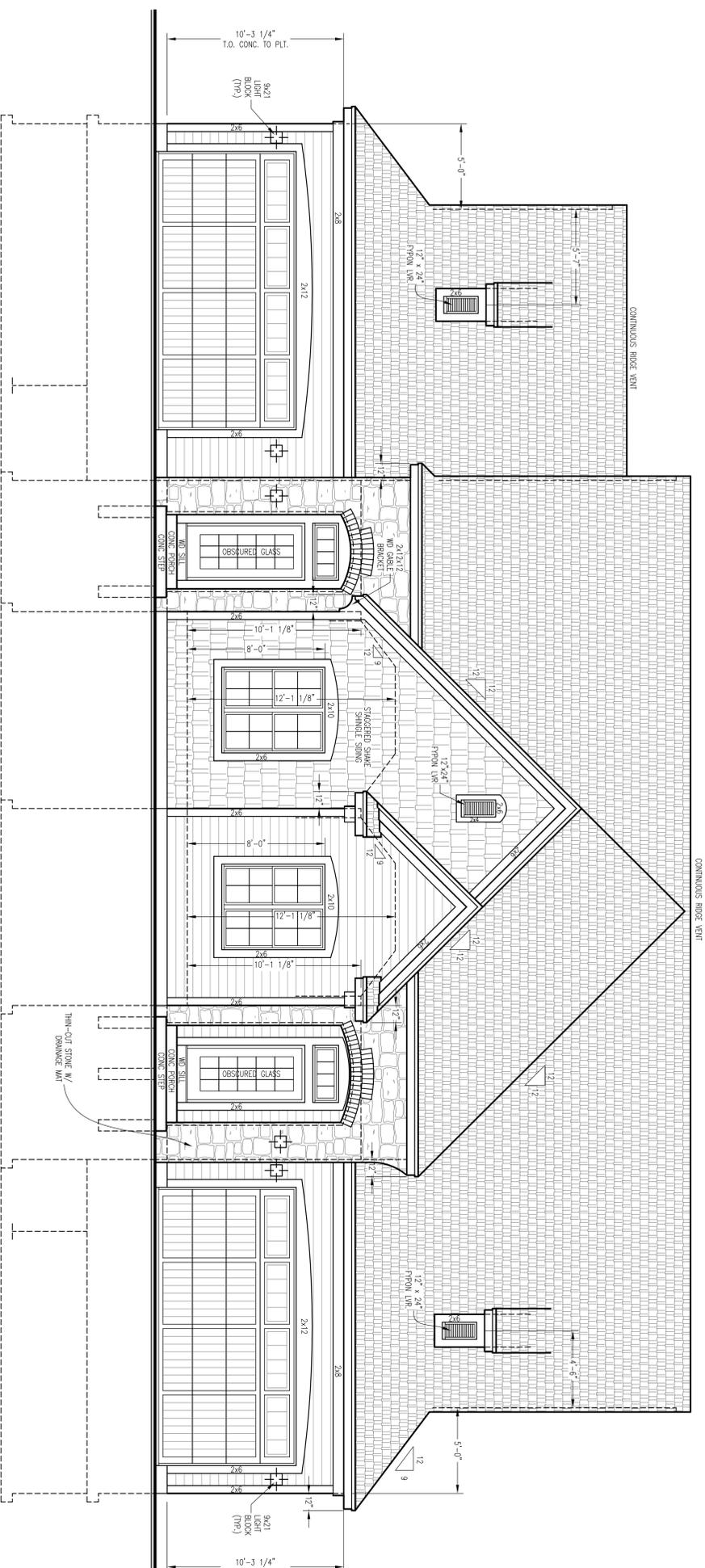
Job Number: VII-
 Model: BRETON
 Address: ---

RIGHT UNIT

Job Number: VII-
 Model: BRETON
 Address: ---

CONSTRUCTION SUPERINTENDENT & DATE

- SHEET INDEX**
1. FRONT ELEVATION
 2. FLOOR PLAN
 3. BASEMENT PLAN
 4. SIDE ELEVATIONS
 5. REAR ELEVATION
 6. SECTIONS
 7. DETAILS
 8. FIRST FLOOR ELECTRICAL PLAN
 9. SHEAR WALL BRACING PLAN



FRONT ELEVATION

SCALE: 1/4"=1'-0"

VIIXXXX
 DWELLING SQUARE FOOTAGES

LIVING AREAS	1571 S.F.
SECOND FLOOR LIVING AREA	---
FINISHED LOWER LEVEL LIVING AREA	---
TOTAL LIVING AREA	1571 S.F.
NON-LIVING AREAS	488 S.F.
FRONT PORCH AREA	48 S.F.
CONC. STAIR	1441 S.F.
UNFINISHED BASEMENT AREA	---

ALLIANCE WINDGATE SERIES
 WINDOWS & PATIO DOORS

VIIXXXX
 DWELLING SQUARE FOOTAGES

LIVING AREAS	1571 S.F.
SECOND FLOOR LIVING AREA	---
FINISHED LOWER LEVEL LIVING AREA	---
TOTAL LIVING AREA	1571 S.F.
NON-LIVING AREAS	77 S.F.
FRONT PORCH AREA	48 S.F.
CONC. STAIR	1441 S.F.
UNFINISHED BASEMENT AREA	---

PURCHASE ORDER
 Required

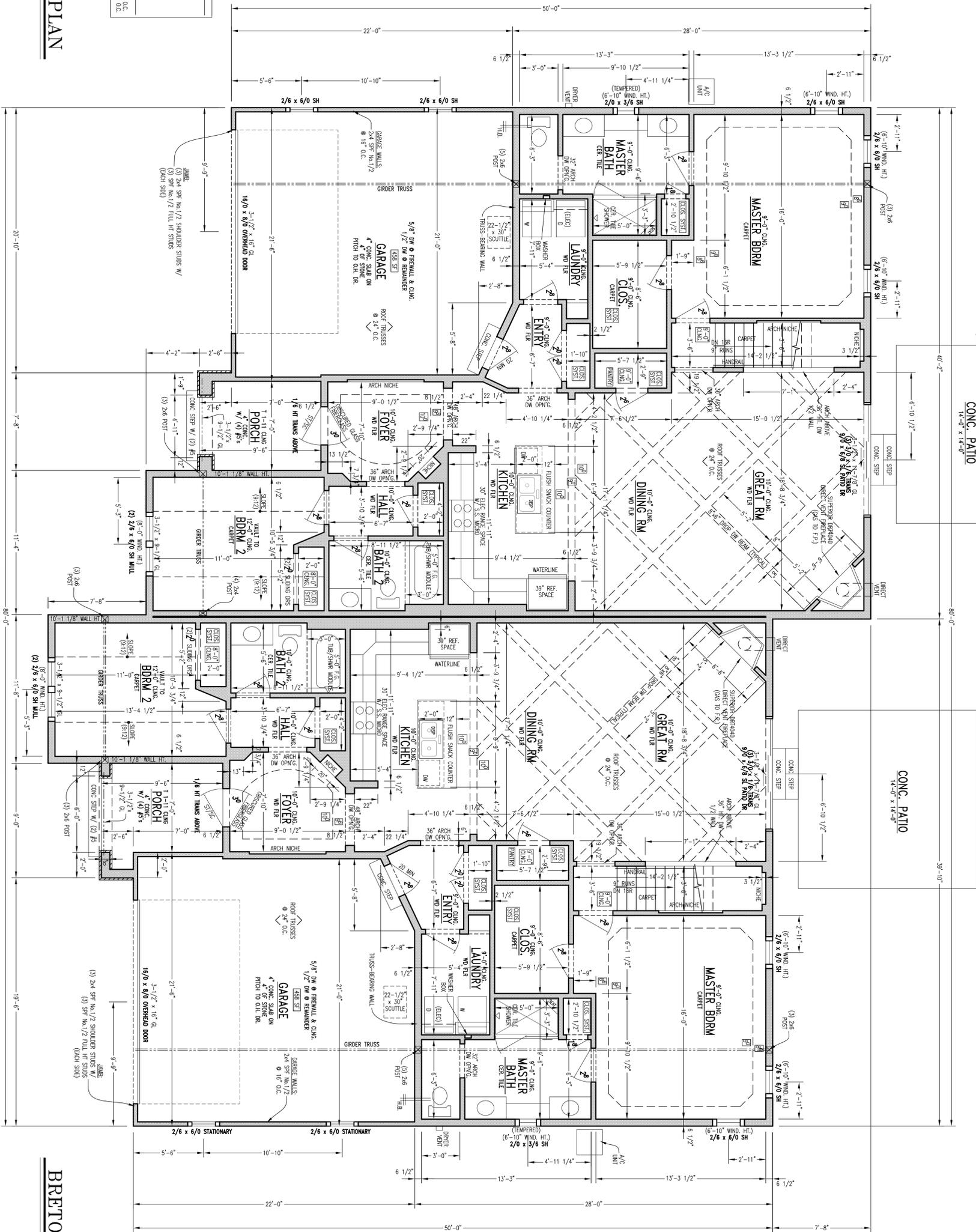
KINGS WAY		MODEL	THE BRETON
HOMES, L.L.C.			VIIXXXX
700 PILGRIM PARKWAY			VIIXXXX
SUITE 100			
ELM GROVE, WI.		DATE REVISED	SHEET NO. #
Phone (262) 797-3600		10/15/18	1
		11/13/18	
		07/27/19	
		12/08/20	

VIIXXXX / VIIXXXX

BRETON FLOOR PLAN

VILXXXX
[5 7 1 S . F .]

NOTE: FRAMING:
ALL DOOR AND WINDOW HEADERS ARE TO BE (2) 2x10 S.P.F. NO. 1-2 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
ALL DOOR AND WINDOW JOISTS ARE TO BE (2) 2x4 S.P.F. NO. 1 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
(2) 2x6 S.P.F. FULL HT. STUDS (EACH SIDE)
SOLID BLOCKING UNDER ALL POSTS
LANDING:
2x4 GORGE EXTERIOR WALL FRAMING @ 16" O.C.
2x4 HOUSE INTERIOR WALL FRAMING @ 16" O.C.
2x6 HOUSE EXTERIOR WALL FRAMING @ 24" O.C.

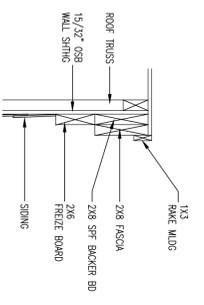


NOTE:
• 6'-8" DOOR HEIGHTS THROUGHOUT
• ALLIANCE WINDOZE SERIES WINDOWS & PATIO DRS W/ JAMB & CASING
• SOLID CORE INTERIOR DOORS

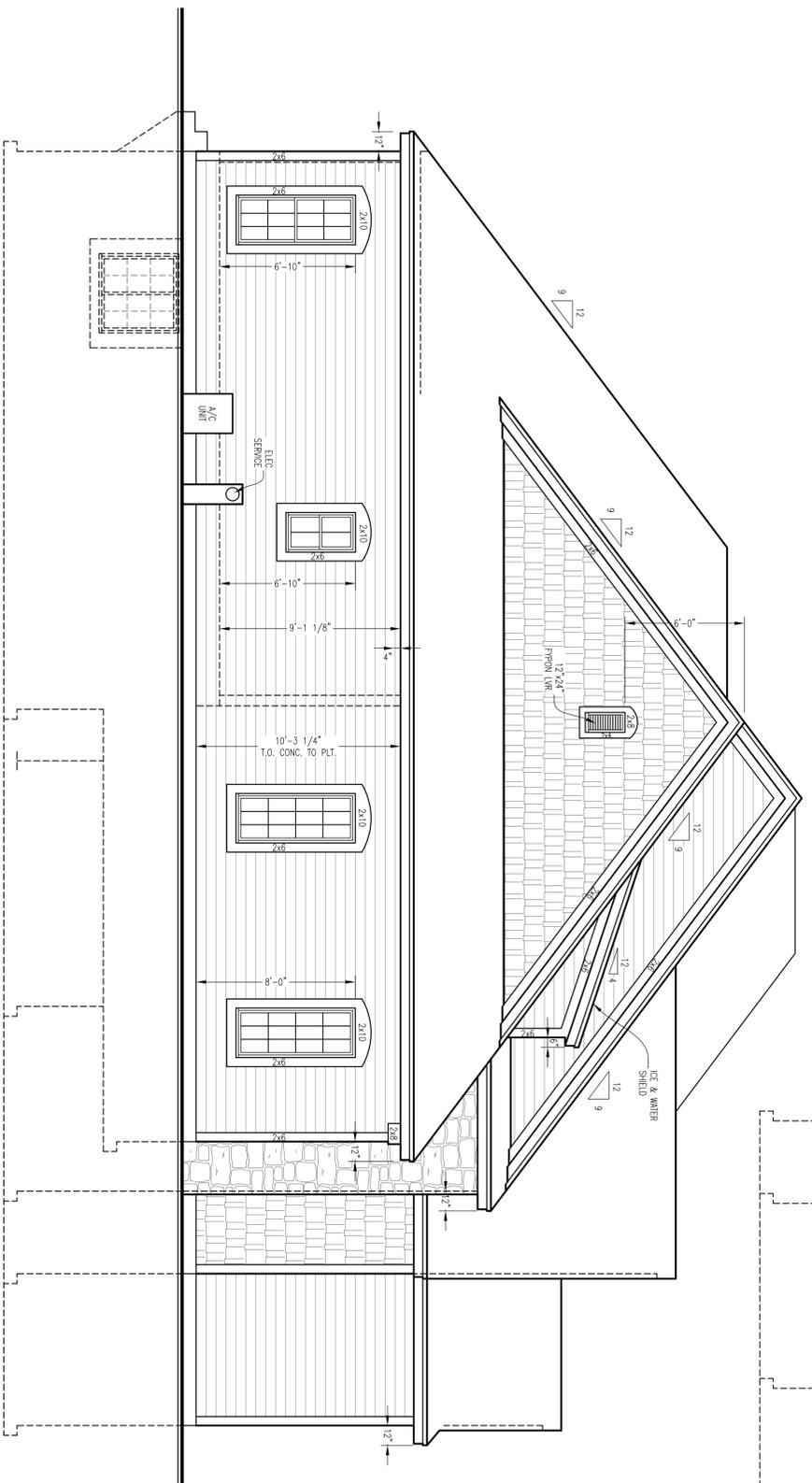
BRETON FLOOR PLAN

VILXXXX
[5 7 1 S . F .]

NOTE: FRAMING:
ALL DOOR AND WINDOW HEADERS ARE TO BE (2) 2x10 S.P.F. NO. 1-2 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
ALL DOOR AND WINDOW JOISTS ARE TO BE (2) 2x4 S.P.F. NO. 1 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
(2) 2x6 S.P.F. FULL HT. STUDS (EACH SIDE)
SOLID BLOCKING UNDER ALL POSTS
LANDING:
2x4 GORGE EXTERIOR WALL FRAMING @ 16" O.C.
2x4 HOUSE INTERIOR WALL FRAMING @ 16" O.C.
2x6 HOUSE EXTERIOR WALL FRAMING @ 24" O.C.

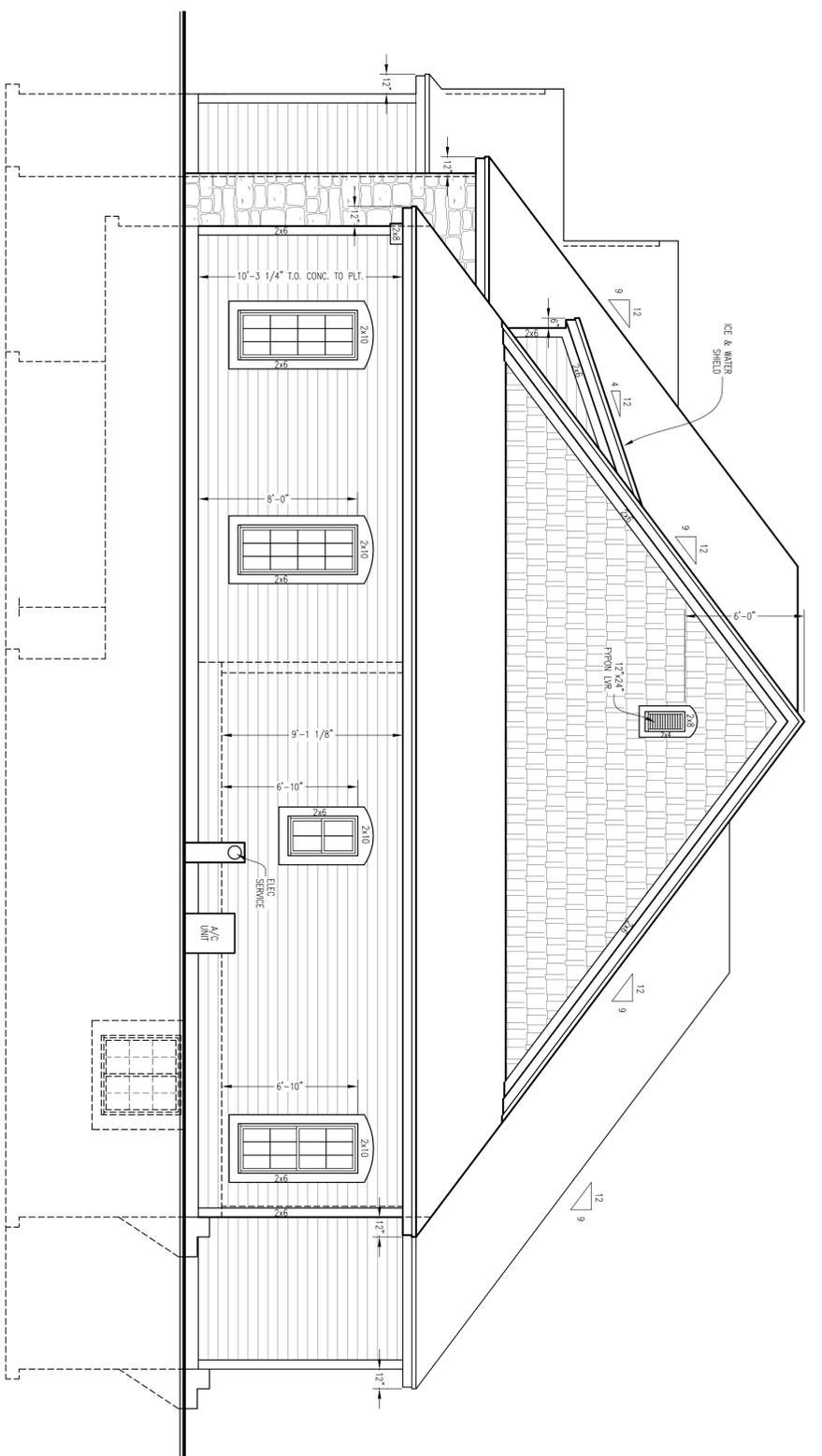


DBL RAKE DETAIL
SCALE: 1"=1'-0"



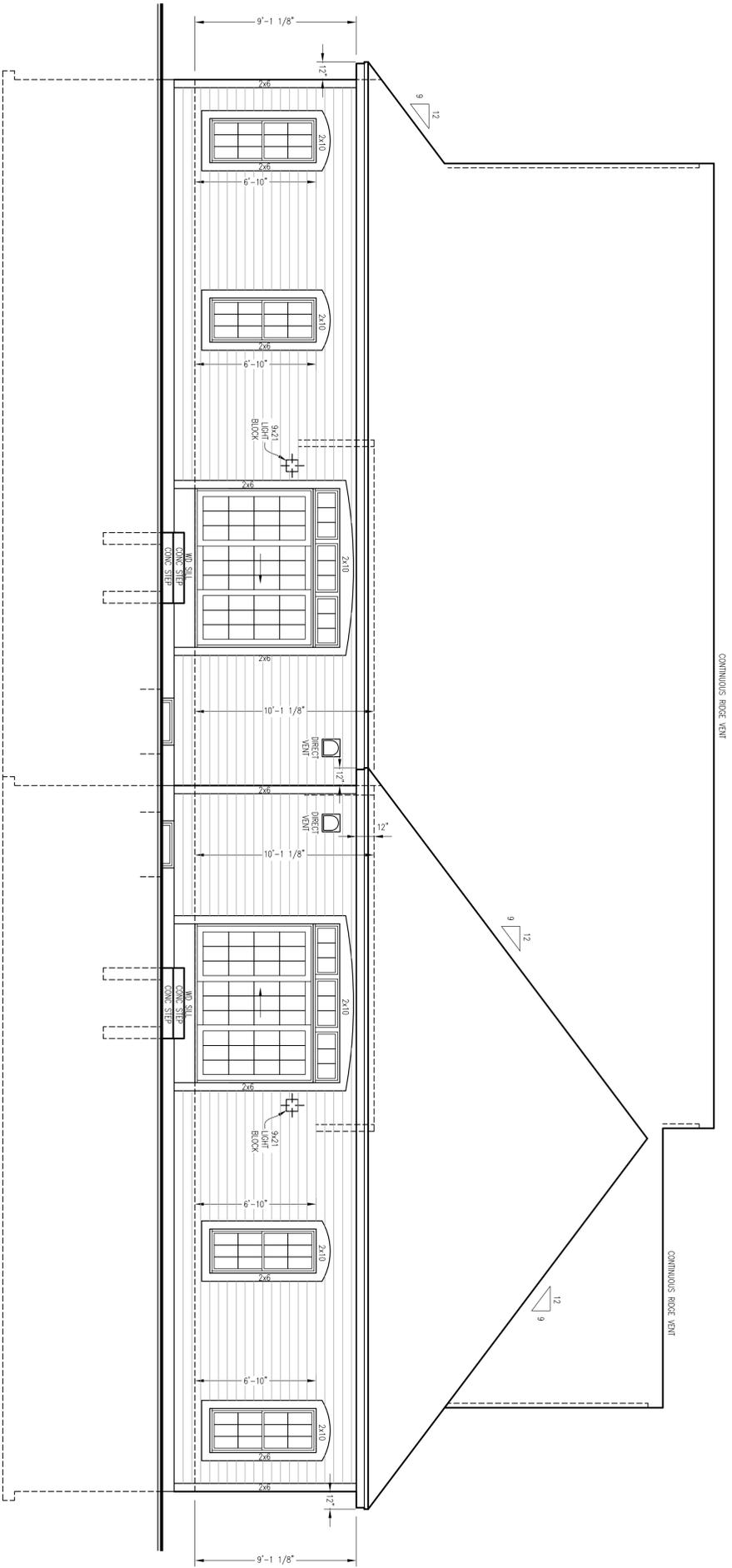
LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

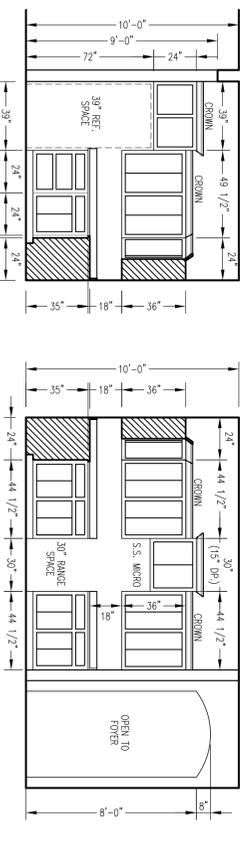
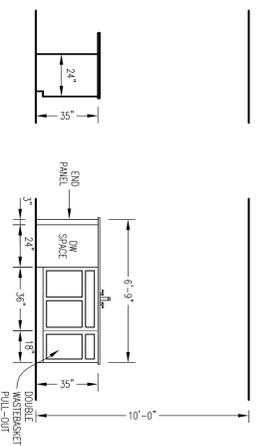


REAR ELEVATION

SCALE: 1/4" = 1'-0"

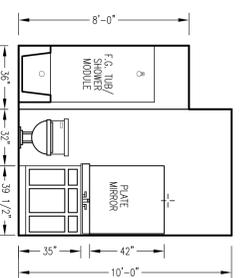
CONTINUOUS ROOF, VENT

CONTINUOUS ROOF, VENT



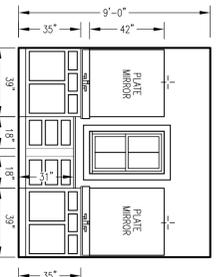
KITCHEN CABINET ELEVATIONS
2-1/4" CW CROWN - TYPICAL THROUGHOUT

SCALE: 1/4" = 1'-0"



BATH 2

SCALE: 1/4" = 1'-0"

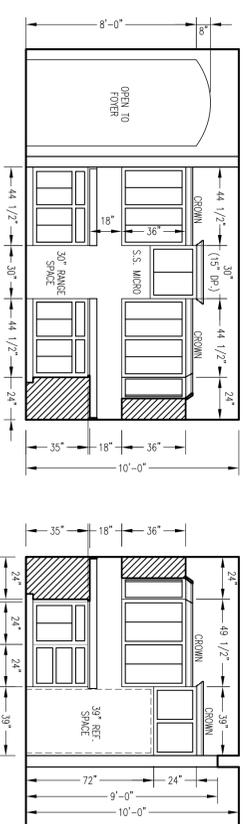
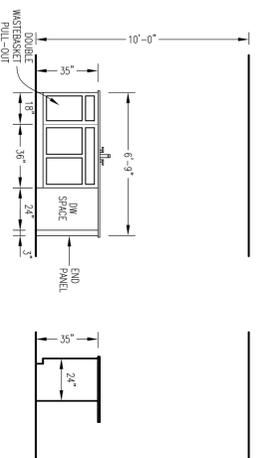


MASTER BATH

SCALE: 1/4" = 1'-0"

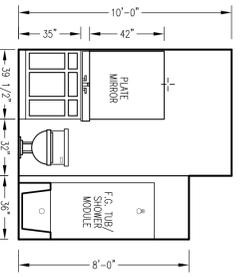
VILXXXX

VILXXXX



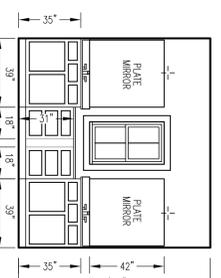
KITCHEN CABINET ELEVATIONS
2-1/4" CW CROWN - TYPICAL THROUGHOUT

SCALE: 1/4" = 1'-0"



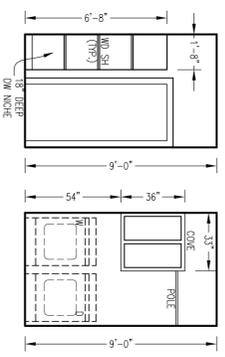
BATH 2

SCALE: 1/4" = 1'-0"



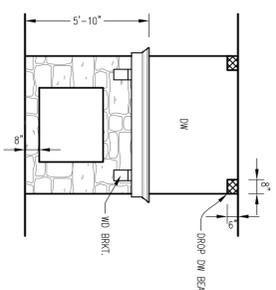
MASTER BATH

SCALE: 1/4" = 1'-0"



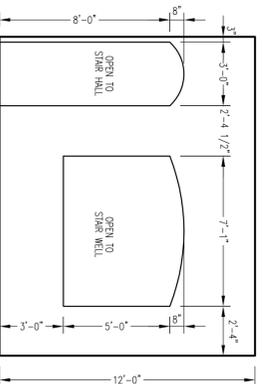
LAUNDRY

SCALE: 1/4" = 1'-0"



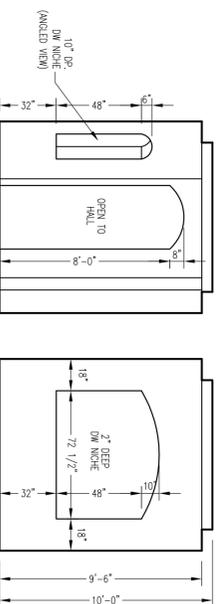
GREAT RM

SCALE: 1/4" = 1'-0"



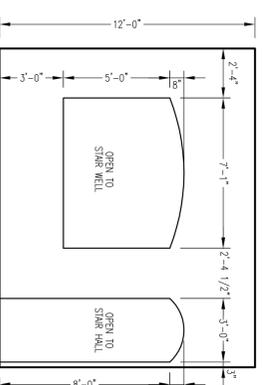
GREAT RM

SCALE: 1/4" = 1'-0"



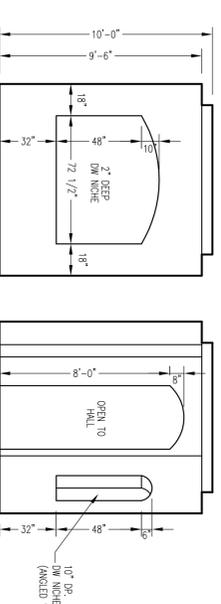
FOYER

SCALE: 1/4" = 1'-0"



GREAT RM

SCALE: 1/4" = 1'-0"

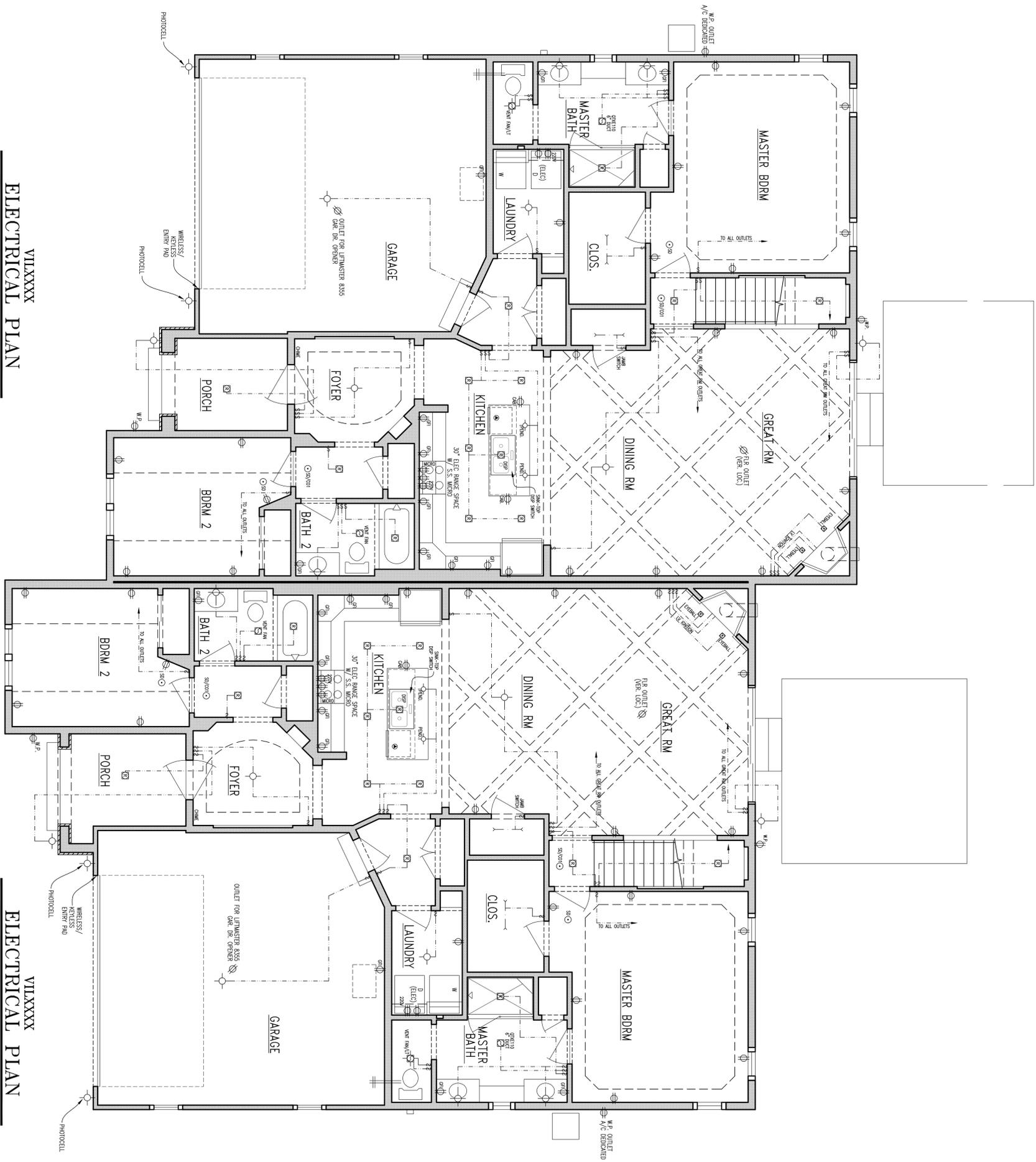


FOYER

SCALE: 1/4" = 1'-0"

VILXXXX / VILXXXX

7



VII,XXXX
ELECTRICAL PLAN

VII,XXXX
ELECTRICAL PLAN

Owner: DARMOOD INVESTMENTS
 Site: VILLAGE CROSSING II, OCONOMOWOC

LEFT UNIT

Job Number: VII-
 Model: CASTILLIAN
 Address: -

RIGHT UNIT

Job Number: VII-
 Model: CASTILLIAN
 Address: -

CONSTRUCTION SUPERINTENDENT & DATE



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

DWELLING SQUARE FOOTAGES

VII-XXXX

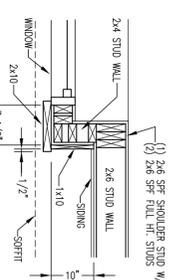
Living Areas	1780 SF
Second Floor Living Area	---
Finished Lower Level Living Area	---
Total Living Area	1780 SF
Non-Living Areas	48 SF
Garage Area	482 SF
Unfinished Basement Area	1628 SF

**ALLIANCE WINDGATE SERIES
 WINDOWS & PATIO DOORS**

DWELLING SQUARE FOOTAGES

VII-XXXX

Living Areas	1780 SF
Second Floor Living Area	---
Finished Lower Level Living Area	---
Total Living Area	1780 SF
Non-Living Areas	48 SF
Garage Area	482 SF
Unfinished Basement Area	1628 SF



BOX WINDOW DTL.

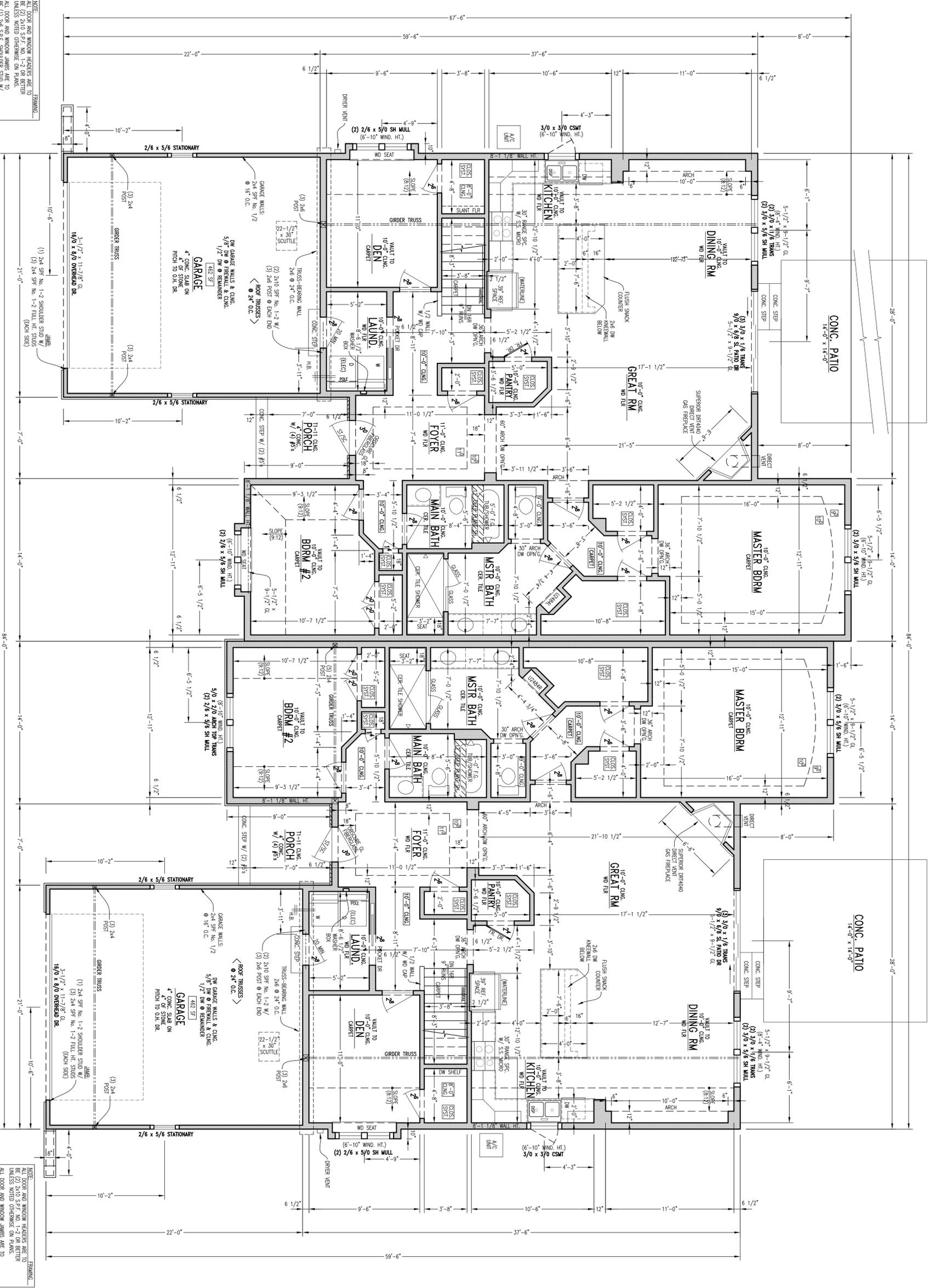
SCALE: 3/4" = 1'-0"

- SHEET INDEX**
1. FRONT ELEVATION
 2. FLOOR PLAN
 3. BASEMENT PLAN
 4. SIDE ELEVATIONS
 5. REAR ELEVATION
 6. SECTIONS
 7. DETAILS
 8. ELECTRICAL PLAN
 9. SHEAR WALL BRACING PLAN

PURCHASE ORDER
 Required

KINGS WAY		MODEL	THE CASTILLIAN
HOMES, L.L.C.			VII-XXXX
700 PILGRIM PARKWAY			VII-XXXX
SUITE 100			
ELM GROVE, WI.		DATE	REVISED
Phone (262) 797-3600		05/07/18	11/20/18
		10/17/18	
		SHEET NO. #	1

VII-XXXX / VII-XXXX



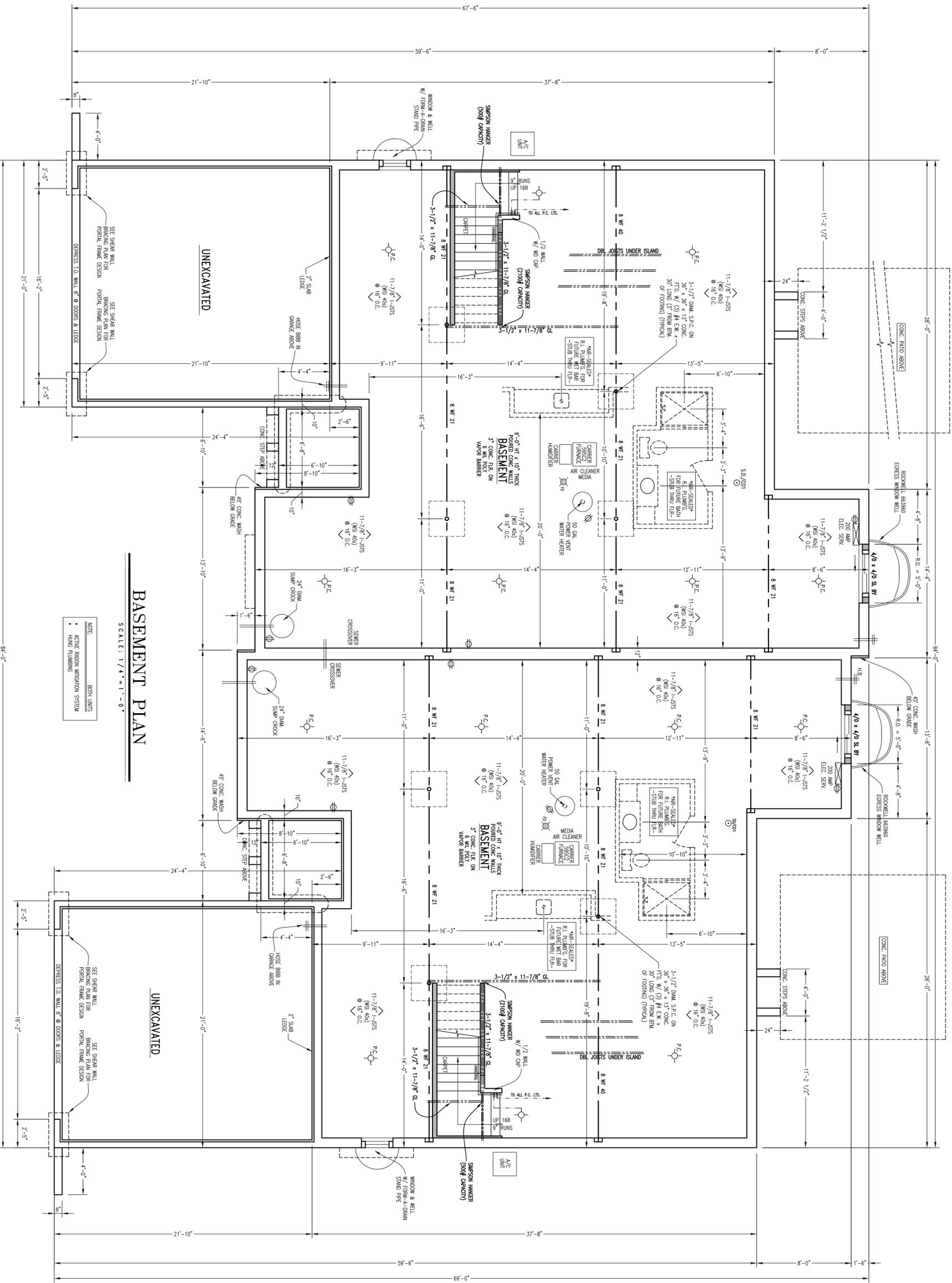
NOTE:
 ALL DOOR AND WINDOW HEADERS ARE TO BE (2) 2x10 S.F.F. NO. 1-2 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
 ALL DOOR AND WINDOW JAMBS ARE TO BE (1) 2x4 S.P.F. SHOULDER STUD W/ (2) 2x6 S.P.F. FULL HT. STUDS
 SOLID BLOCKING UNDER ALL POSTS
 U.N.O.
 2x4 GARAGE EXTERIOR WALL FRAMING @ 16" O.C.
 2x4 HOUSE EXTERIOR WALL FRAMING @ 24" O.C.

1760 S.F. | VILXXXX
CASTILIAN FLOOR PLAN

NOTE:
 6"-8" DOOR HEADERS THROUGHOUT
 ALLUANCE WINDOW CASES, PATIO DRS W/ JAMB & CASING
 SOLID CORE INTERIOR DOORS
 BOTH UNITS

1760 S.F. | VILXXXX
CASTILIAN FLOOR PLAN

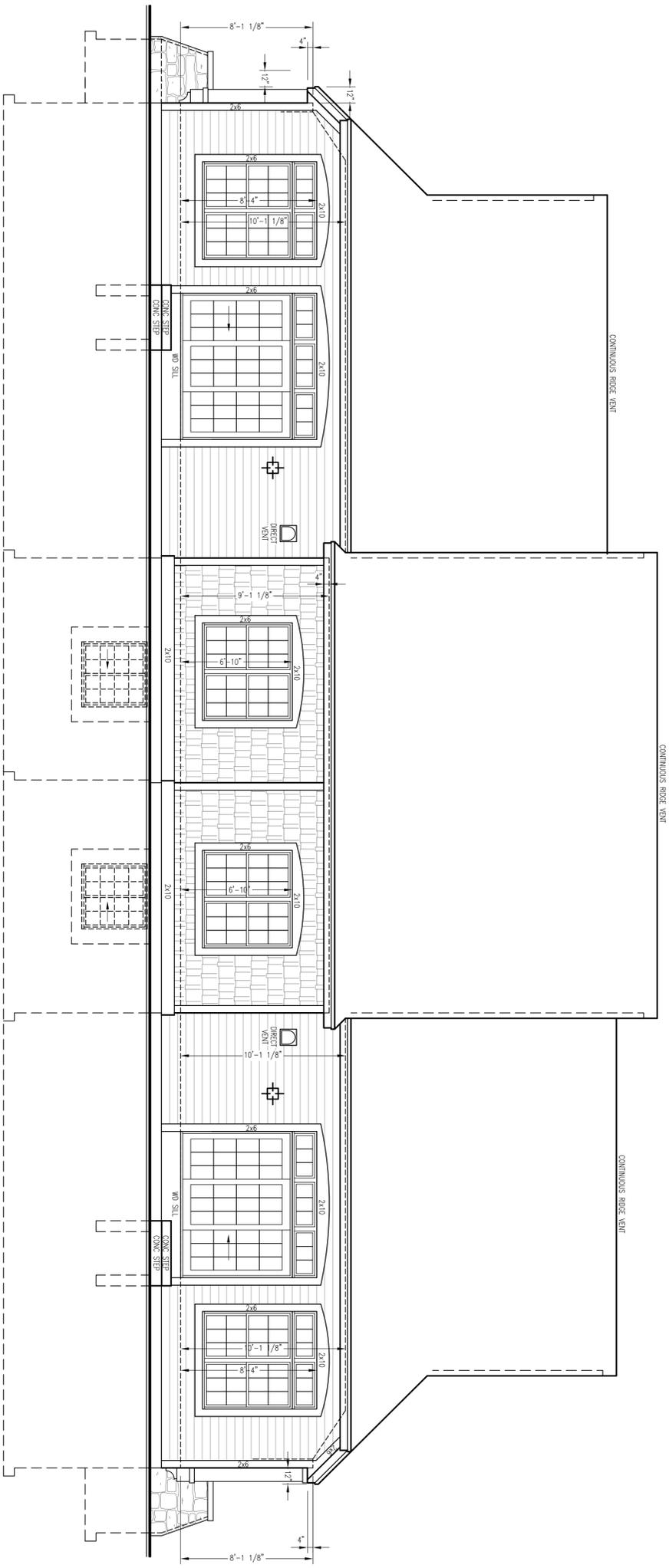
NOTE:
 ALL DOOR AND WINDOW HEADERS ARE TO BE (2) 2x10 S.F.F. NO. 1-2 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
 ALL DOOR AND WINDOW JAMBS ARE TO BE (1) 2x4 S.P.F. SHOULDER STUD W/ (2) 2x6 S.P.F. FULL HT. STUDS
 SOLID BLOCKING UNDER ALL POSTS
 U.N.O.
 2x4 GARAGE EXTERIOR WALL FRAMING @ 16" O.C.
 2x4 HOUSE EXTERIOR WALL FRAMING @ 24" O.C.



BASEMENT PLAN

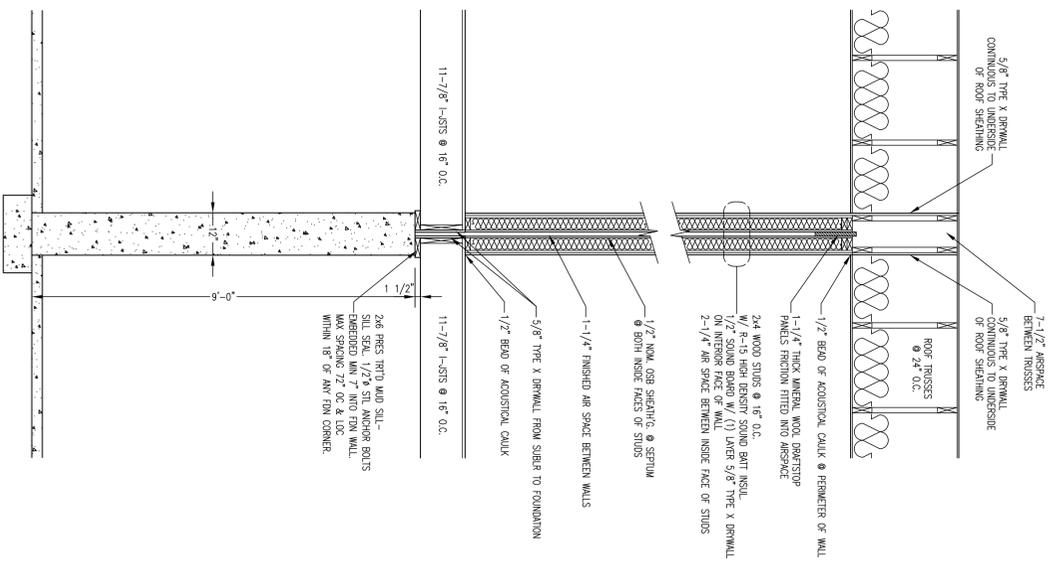
SCALE: 1/4" = 1'-0"

- NOTE:
- BOTH UNITS
 - ACING RATION MITIGATION SYSTEM
 - RATIO FLOORING

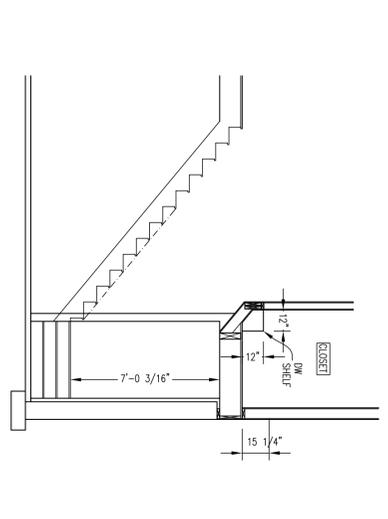


REAR ELEVATION

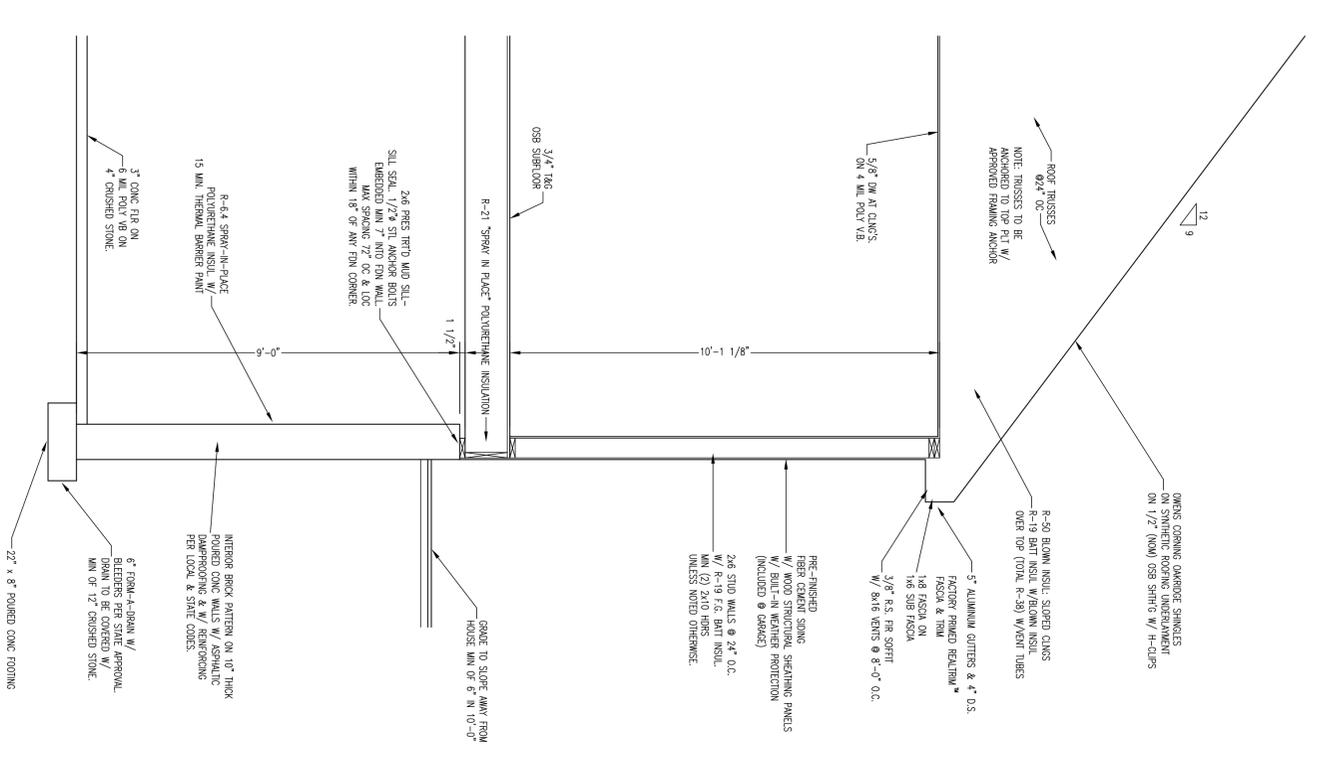
SCALE: 1/4"=1'-0"



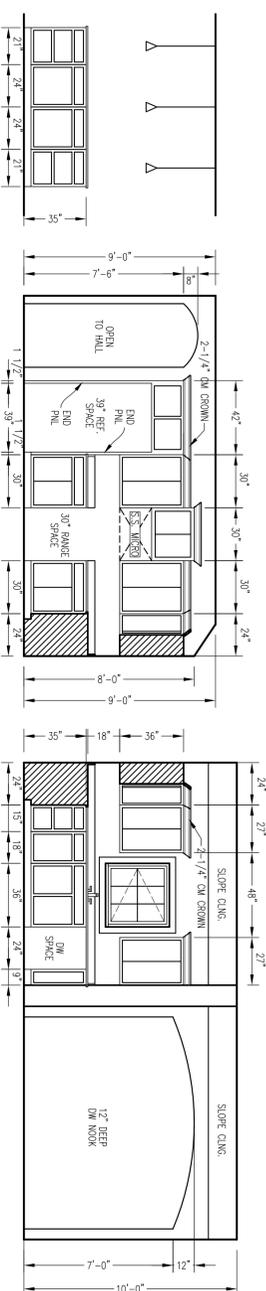
UNIT SEPARATION ASSEMBLY
SCALE: 1/2" = 1'-0"



STAIR SECTION
SCALE: 1/2" = 1'-0"

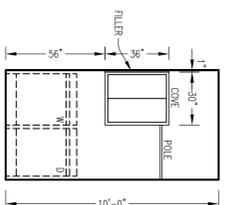


HOUSE SECTION
SCALE: 1/2" = 1'-0"



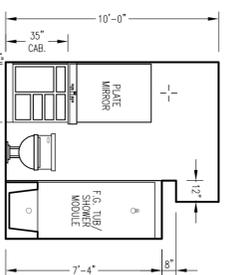
KITCHEN CABINET ELEVATIONS

SCALE: 1/4" = 1'-0"



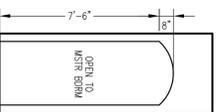
LAUNDRY RM

SCALE: 1/4" = 1'-0"



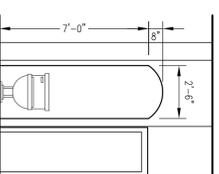
MAIN BATH

SCALE: 1/4" = 1'-0"



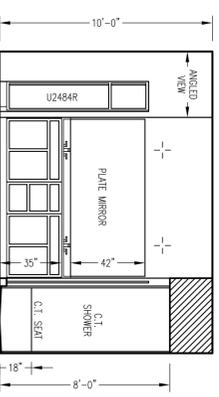
MSTR BDRM HALL

SCALE: 1/4" = 1'-0"



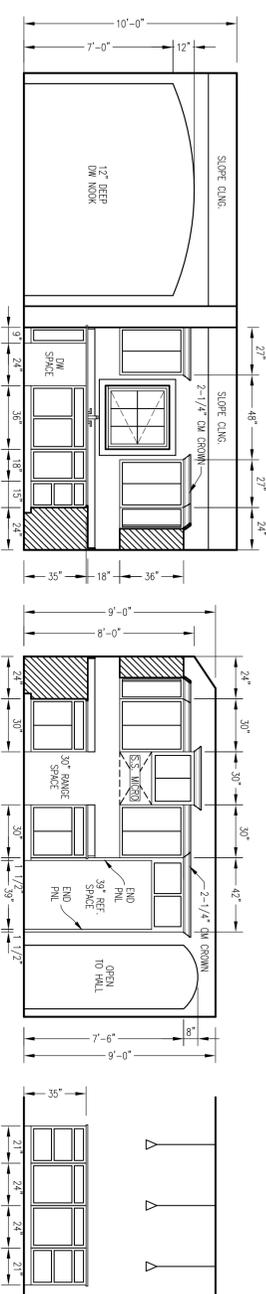
MASTER BATH

SCALE: 1/4" = 1'-0"



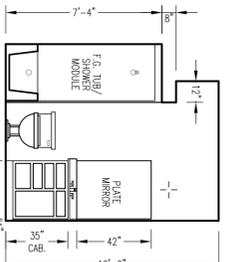
VILXXXX

VILXXXX



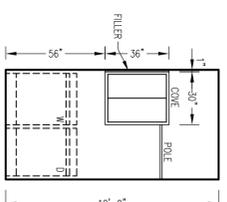
KITCHEN CABINET ELEVATIONS

SCALE: 1/4" = 1'-0"



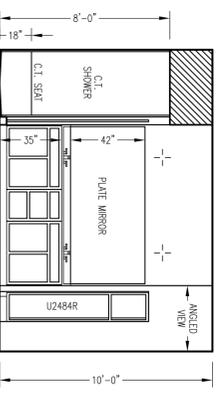
MAIN BATH

SCALE: 1/4" = 1'-0"



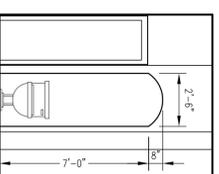
LAUNDRY RM

SCALE: 1/4" = 1'-0"



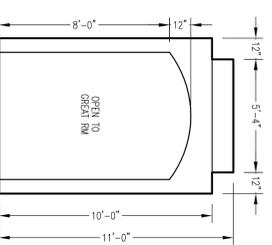
MASTER BATH

SCALE: 1/4" = 1'-0"



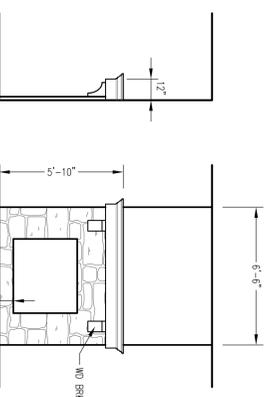
MSTR BDRM HALL

SCALE: 1/4" = 1'-0"



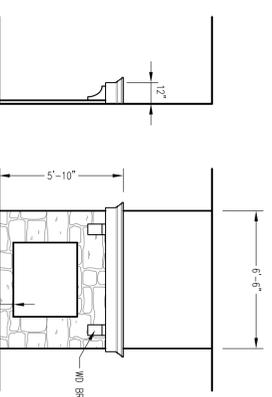
FOYER TO GREAT RM

SCALE: 1/4" = 1'-0"



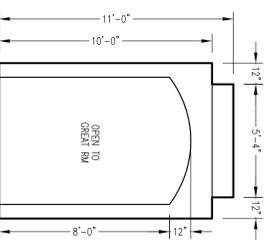
GREAT RM

SCALE: 1/4" = 1'-0"



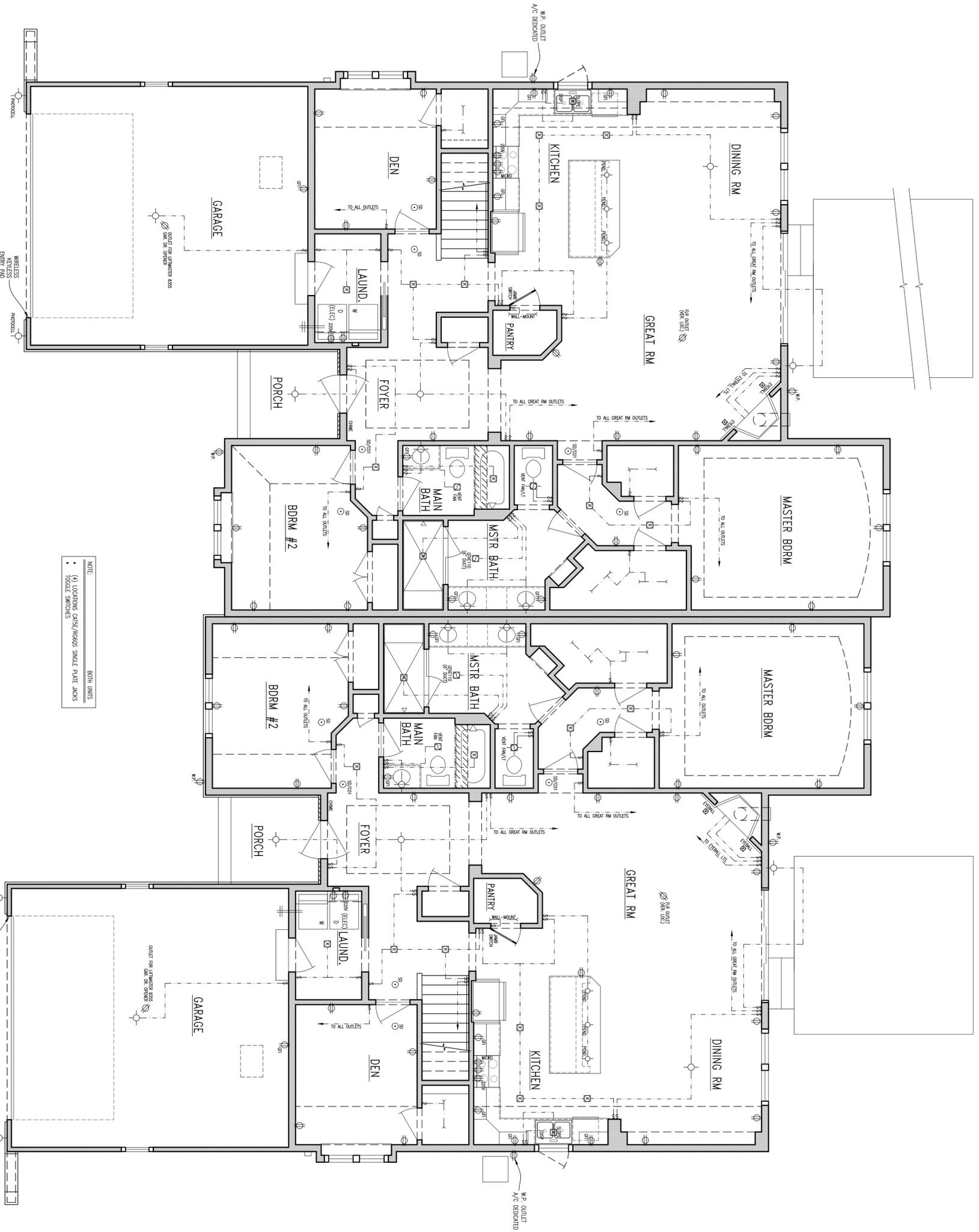
GREAT RM

SCALE: 1/4" = 1'-0"



FOYER TO GREAT RM

SCALE: 1/4" = 1'-0"

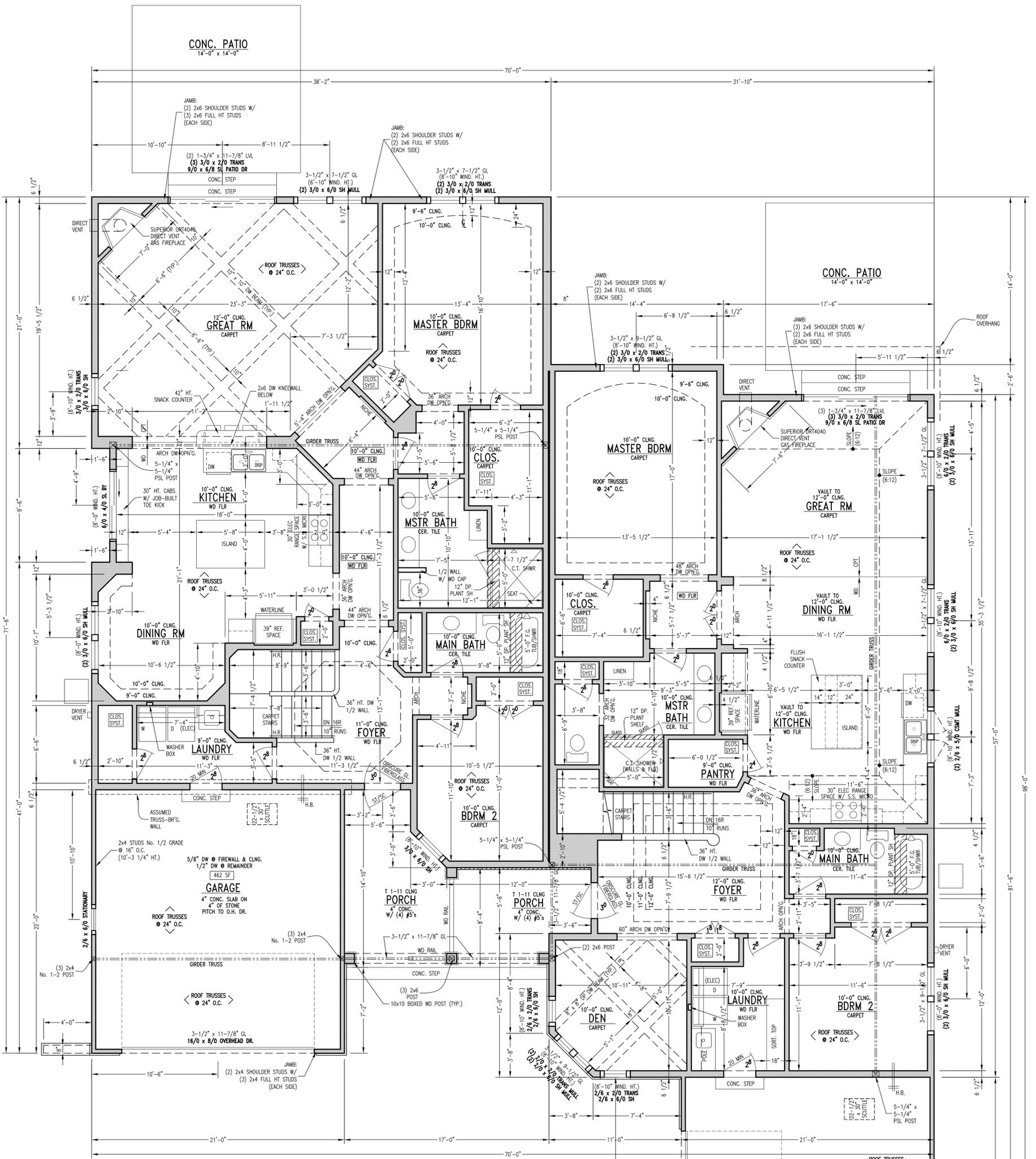


NOTE

- BOTH UNITS
- (A) LOCATIONS CIRCLED/SHADOWED SINGLE POLE JACKS
- TOGGLE SWITCHES

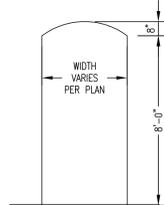
VII,XXXX
ELECTRICAL PLAN

VII,XXXX
ELECTRICAL PLAN



1942 S.F.
ESTONIAN VIL----- FLOOR PLAN

SCALE: 1/4" = 1'-0"



TYP. ARCH OPN'G.
 SCALE: 1/4" = 1'-0"

(BOTH UNITS)

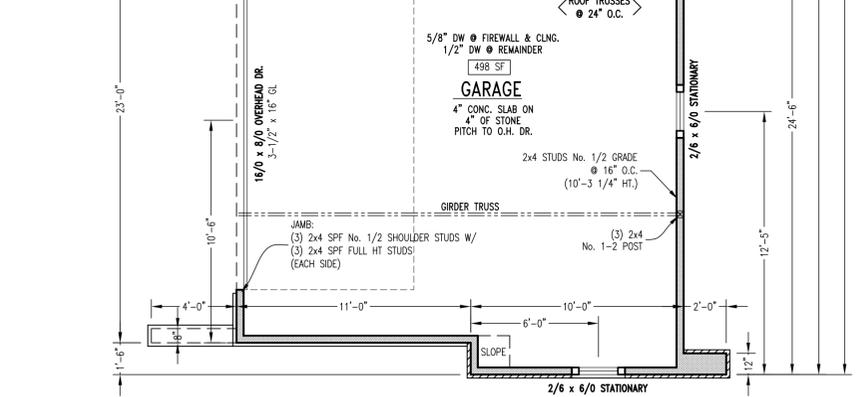
NOTE:
 ALL DOOR AND WINDOW HEADERS ARE TO BE (2) 2x10 S.P.F. NO. 1-2 OR BETTER UNLESS NOTED OTHERWISE ON PLANS.
 ALL DOOR AND WINDOW JAMBS ARE TO BE (1) 2x6 S.P.F. SHOULDER STUD W/ (2) 2x6 S.P.F. FULL HT. STUDS
 SOLID BLOCKING UNDER ALL POSTS

UNITS:
 2x4 GARAGE EXTERIOR WALL FRAMING
 2x4 HOUSE INTERIOR WALL FRAMING @ 16" O.C.
 2x6 HOUSE EXTERIOR WALL FRAMING @ 24" O.C.

NOTE:

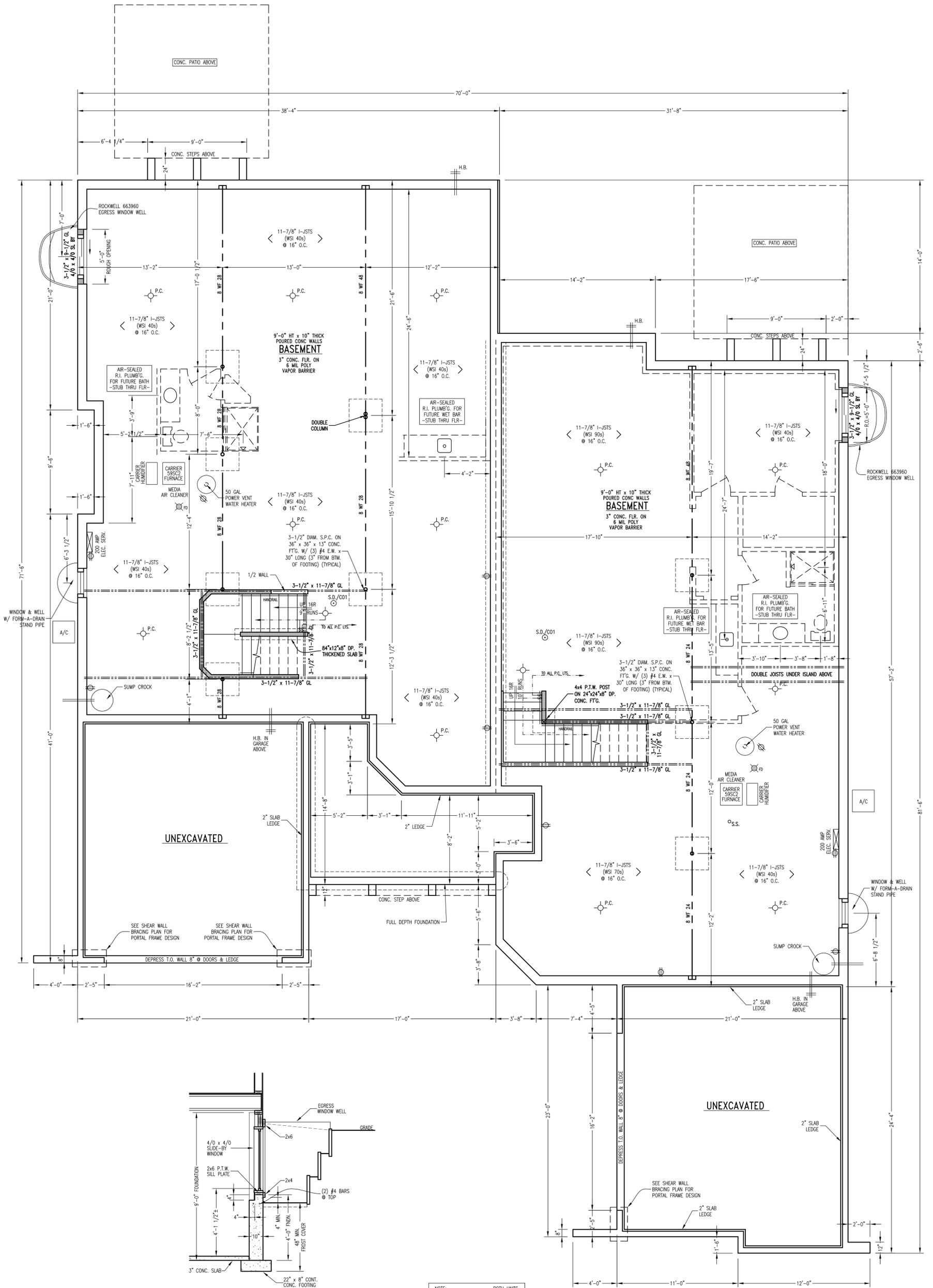
- 6'-8" DOOR HEIGHTS THROUGHOUT
- ALLIANCE WINDGATE SERIES WINDOWS & PATIO DRS W/ JAMB & CASING
- SOLID CORE INTERIOR DOORS

WXXXXXX
 (2)
 WXXXXXX



1834 S.F.
DARTMOOR VIL----- FLOOR PLAN

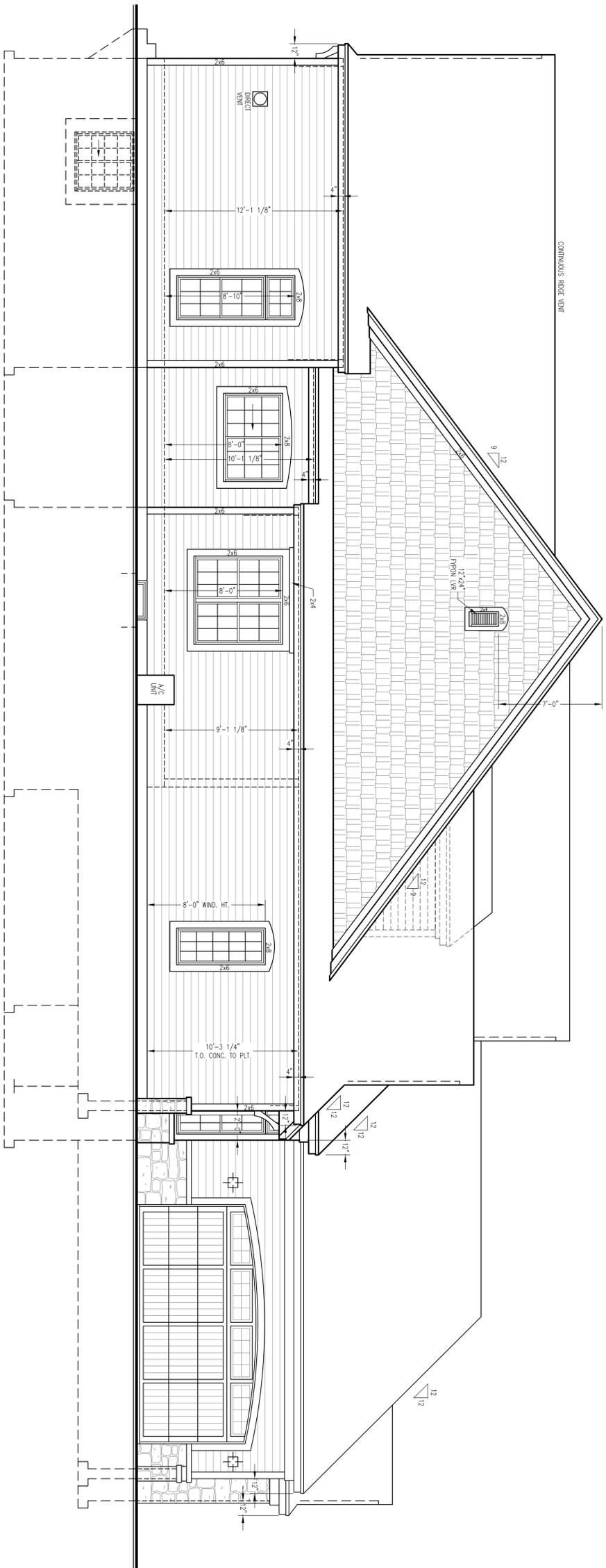
SCALE: 1/4" = 1'-0"



BASEMENT PLAN

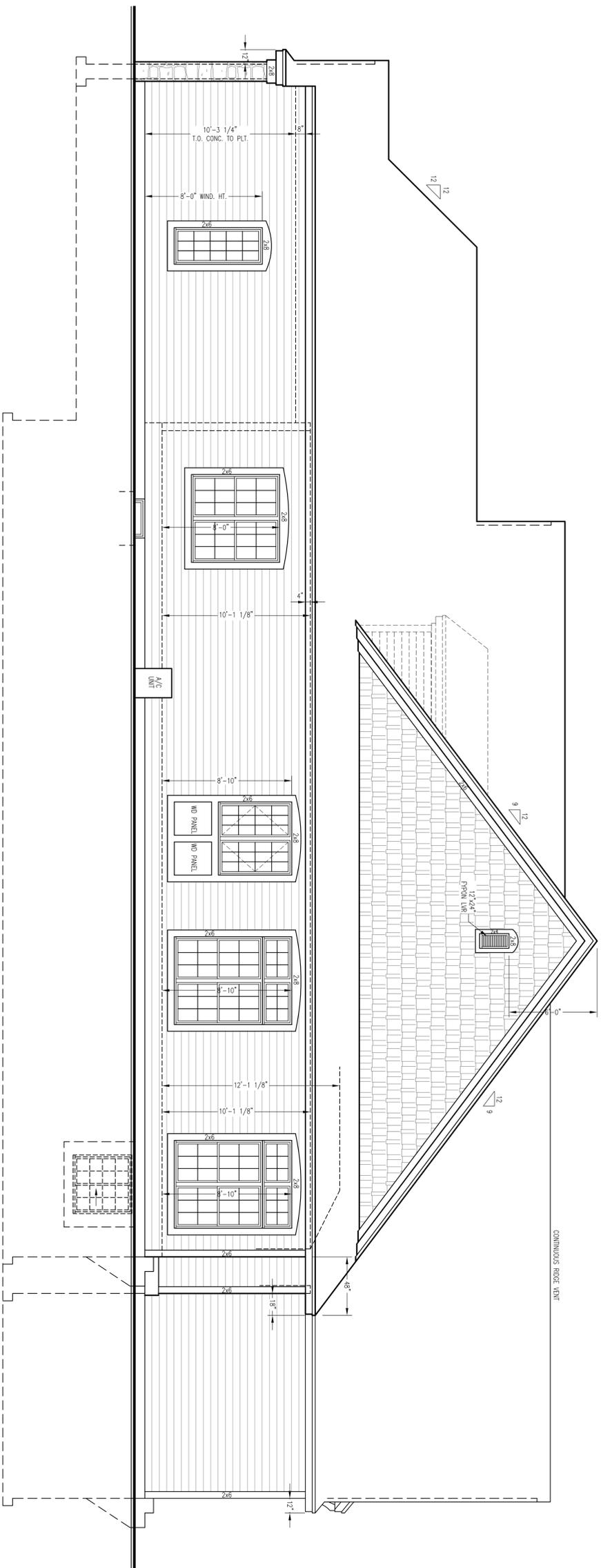
SCALE: 1/4" = 1'-0"

W1XXXXX/W1XXXXX
3



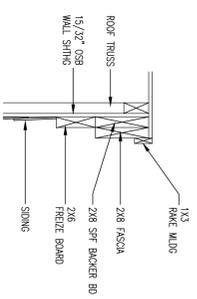
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



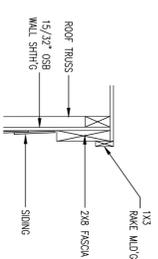
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



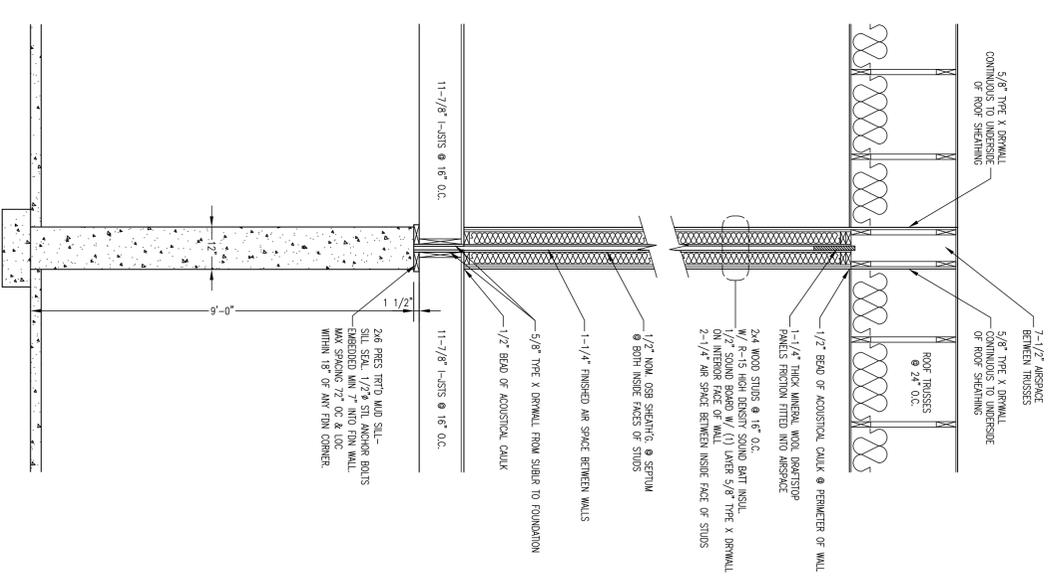
DBL. RAKE DETAIL

SCALE: 1" = 1'-0"

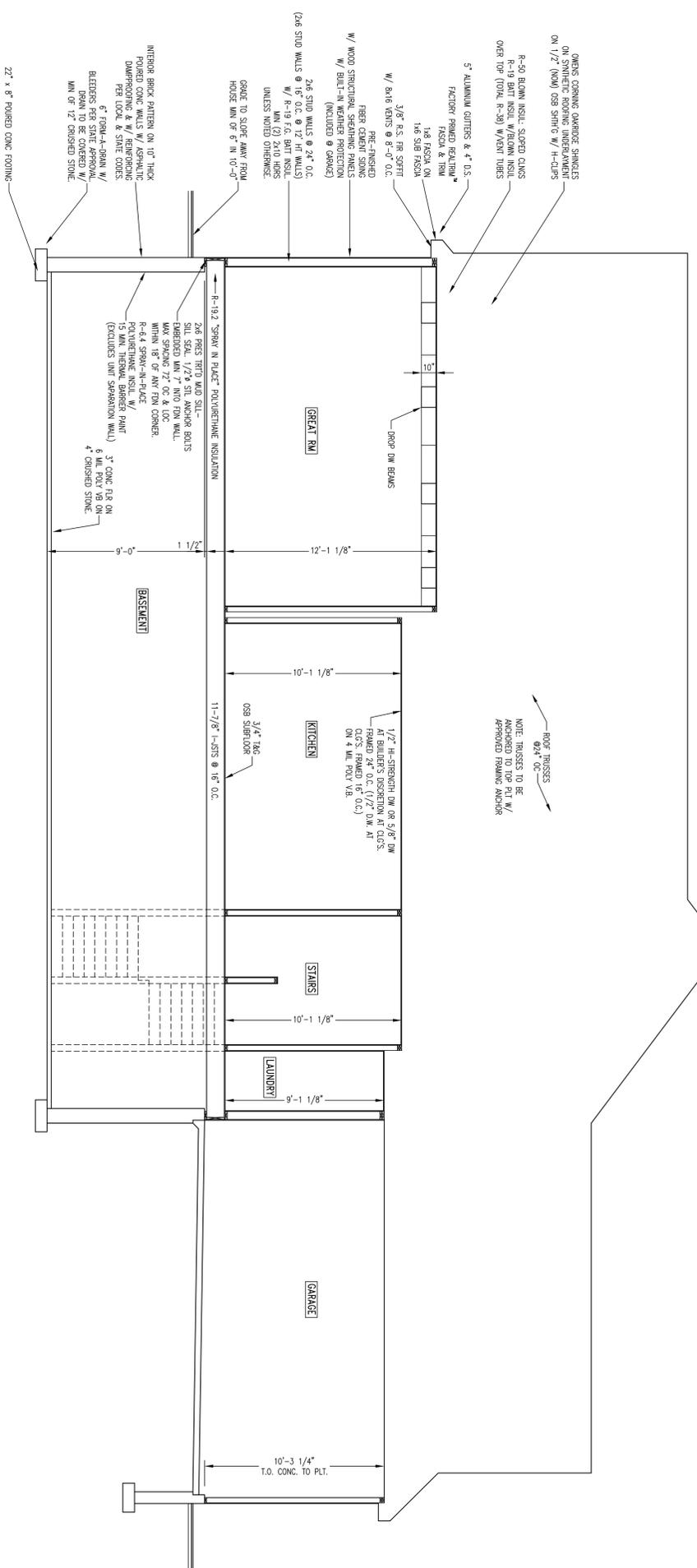


SINGLE RAKE DETAIL

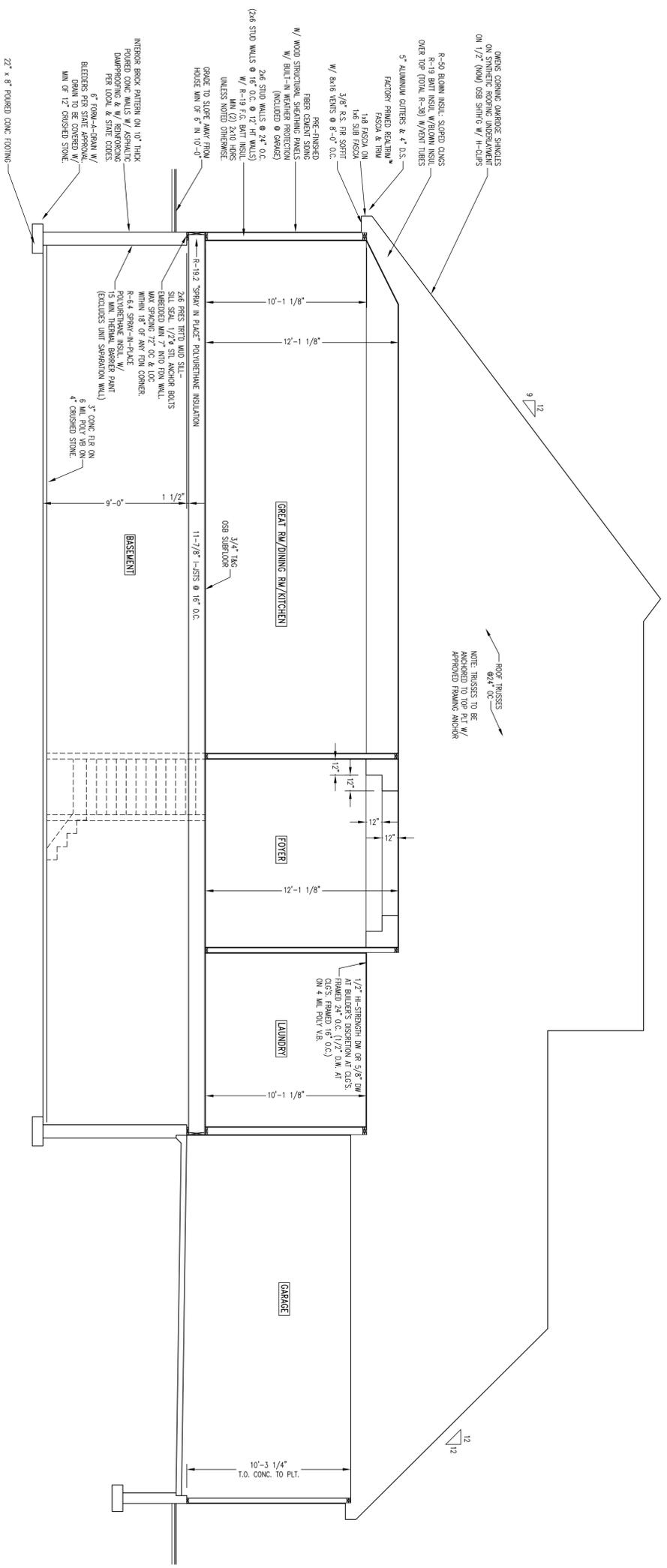
SCALE: 1" = 1'-0"



UNIT SEPARATION ASSEMBLY
SCALE: 1/2" = 1'-0"

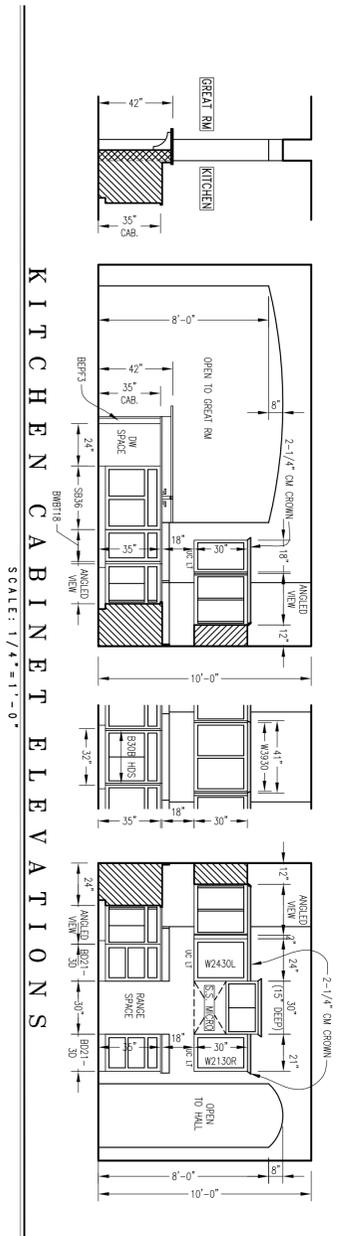
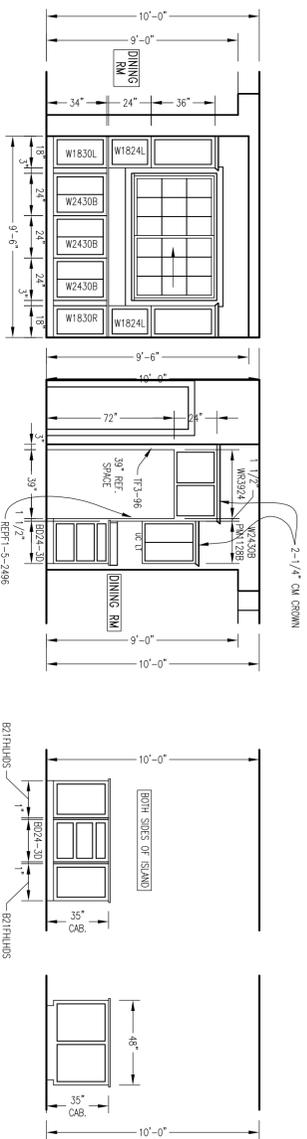


ESTONIAN VII----- HOUSE SECTION
SCALE: 1/4" = 1'-0"

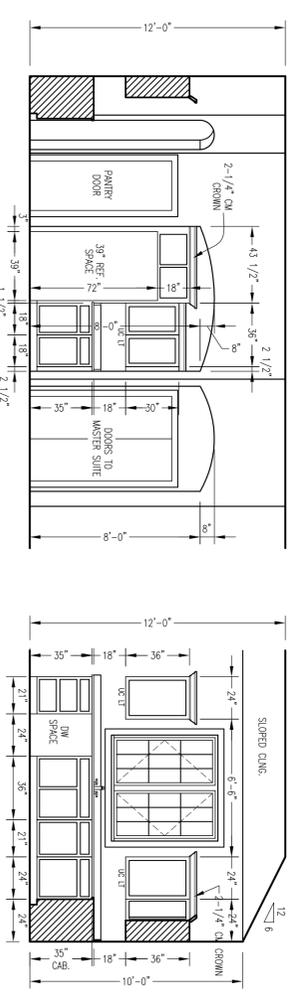
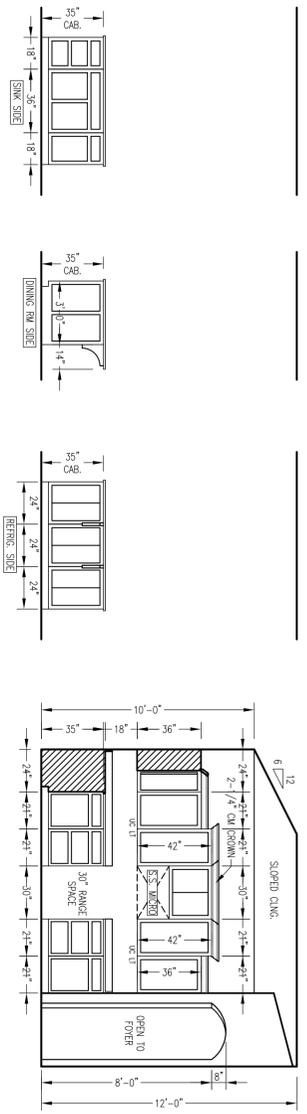


DARTMOOR VII----- HOUSE SECTION

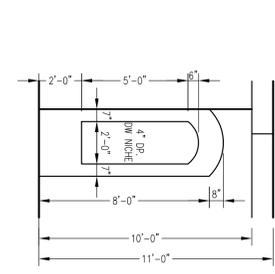
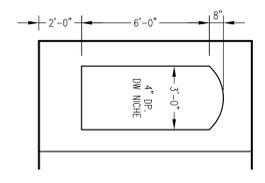
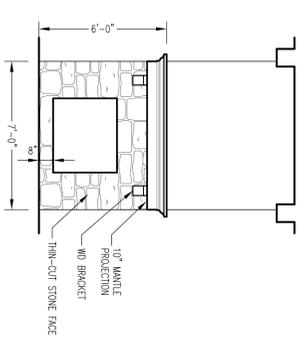
SCALE: 1/4" = 1'-0"



ESTONIAN VILXXX
DARTMOOR VILXXX



KITCHEN CABINET ELEVATIONS

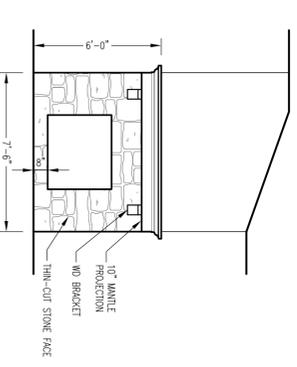
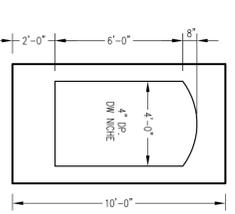
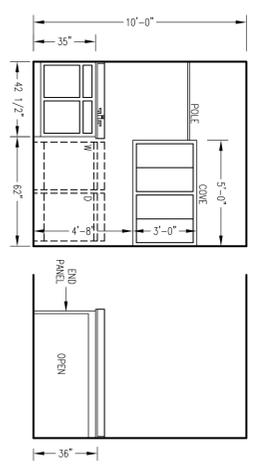


GREAT RM FIREPLACE
SCALE: 1/4"=1'-0"

HALL NICHE
SCALE: 1/4"=1'-0"

FOYER TO BDRM 2
SCALE: 1/4"=1'-0"

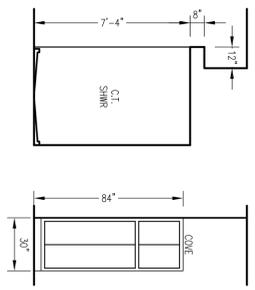
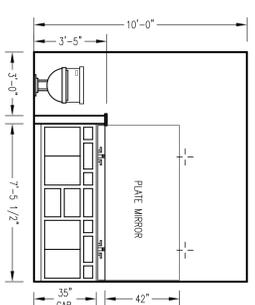
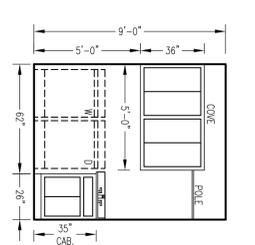
ESTONIAN VILXXX
DARTMOOR VILXXX



LAUNDRY RM
SCALE: 1/4"=1'-0"

MSR SUITE
HALL NICHE
SCALE: 1/4"=1'-0"

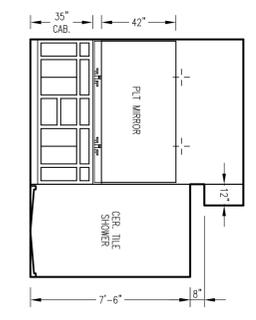
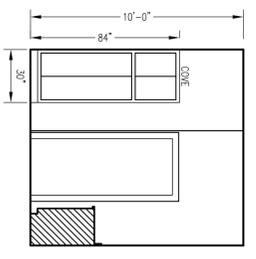
GREAT RM FIREPLACE
SCALE: 1/4"=1'-0"



LAUNDRY RM
SCALE: 1/4"=1'-0"

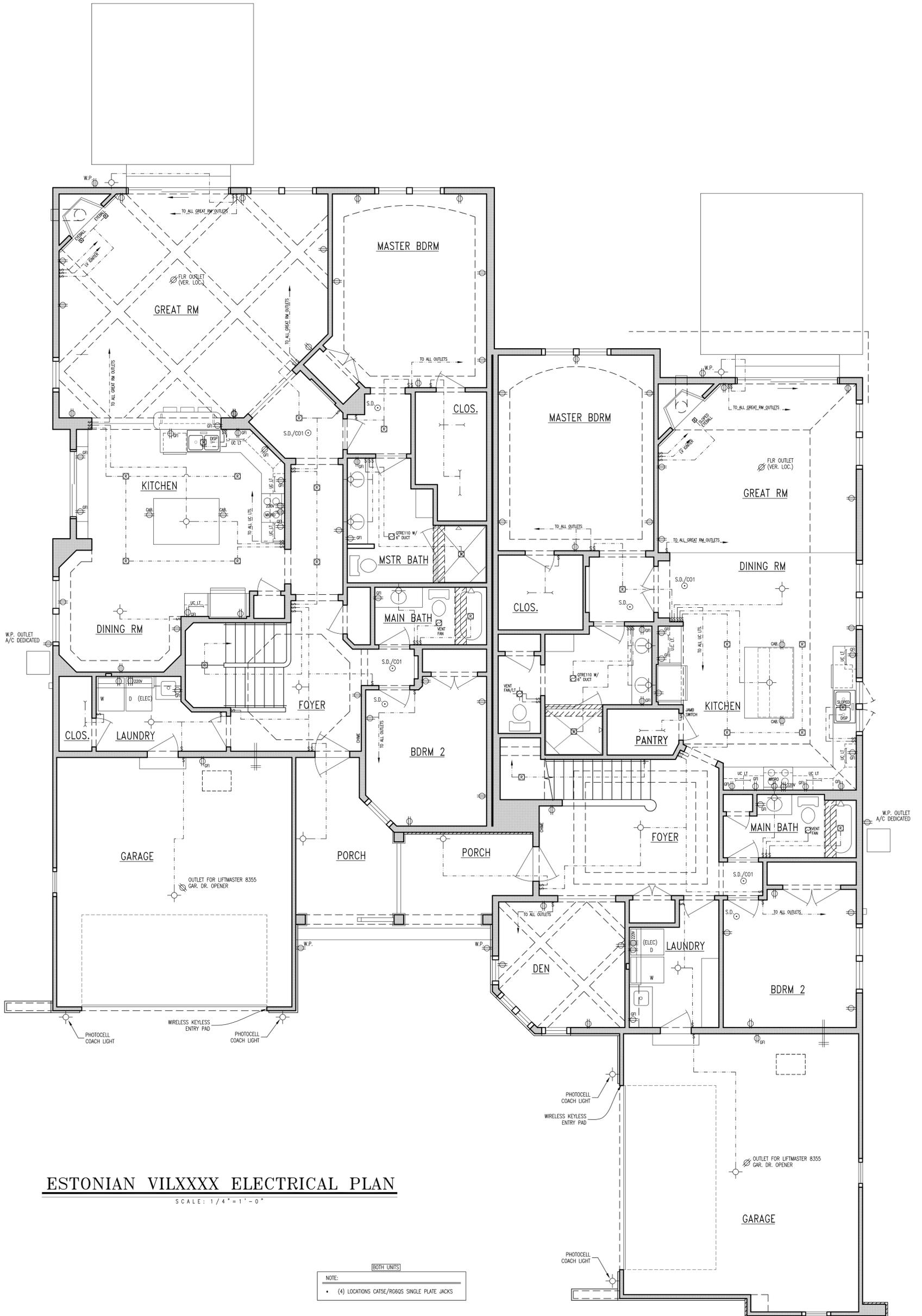
MASTER BATH
SCALE: 1/4"=1'-0"

MAIN BATH
SCALE: 1/4"=1'-0"



MASTER BATH
SCALE: 1/4"=1'-0"

MAIN BATH
SCALE: 1/4"=1'-0"



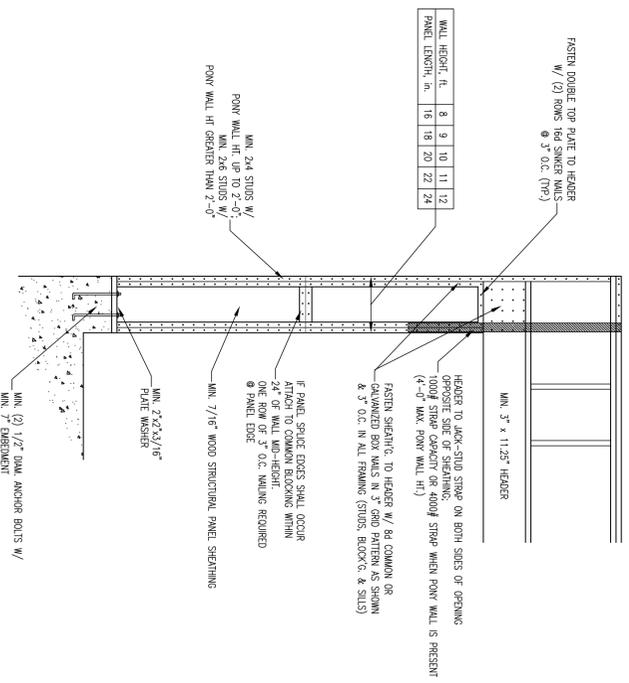
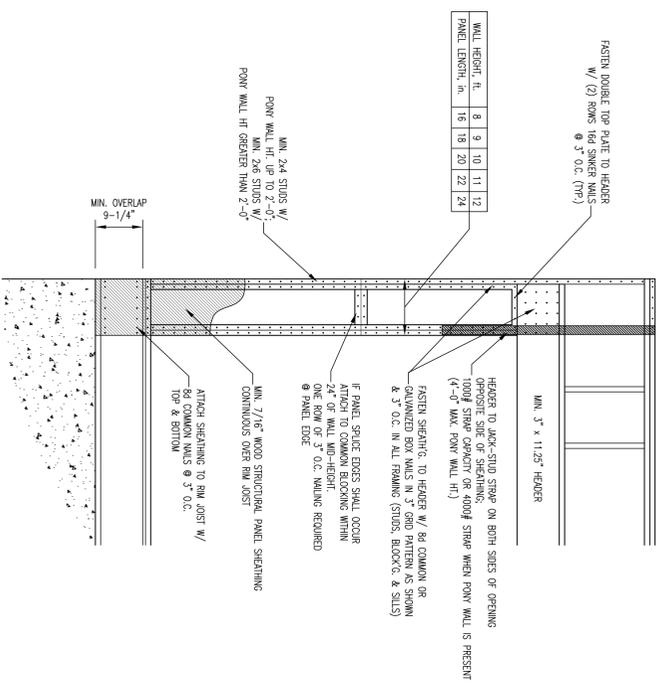
ESTONIAN VILXXX ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

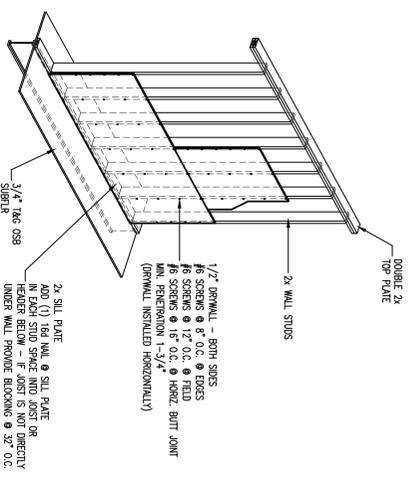
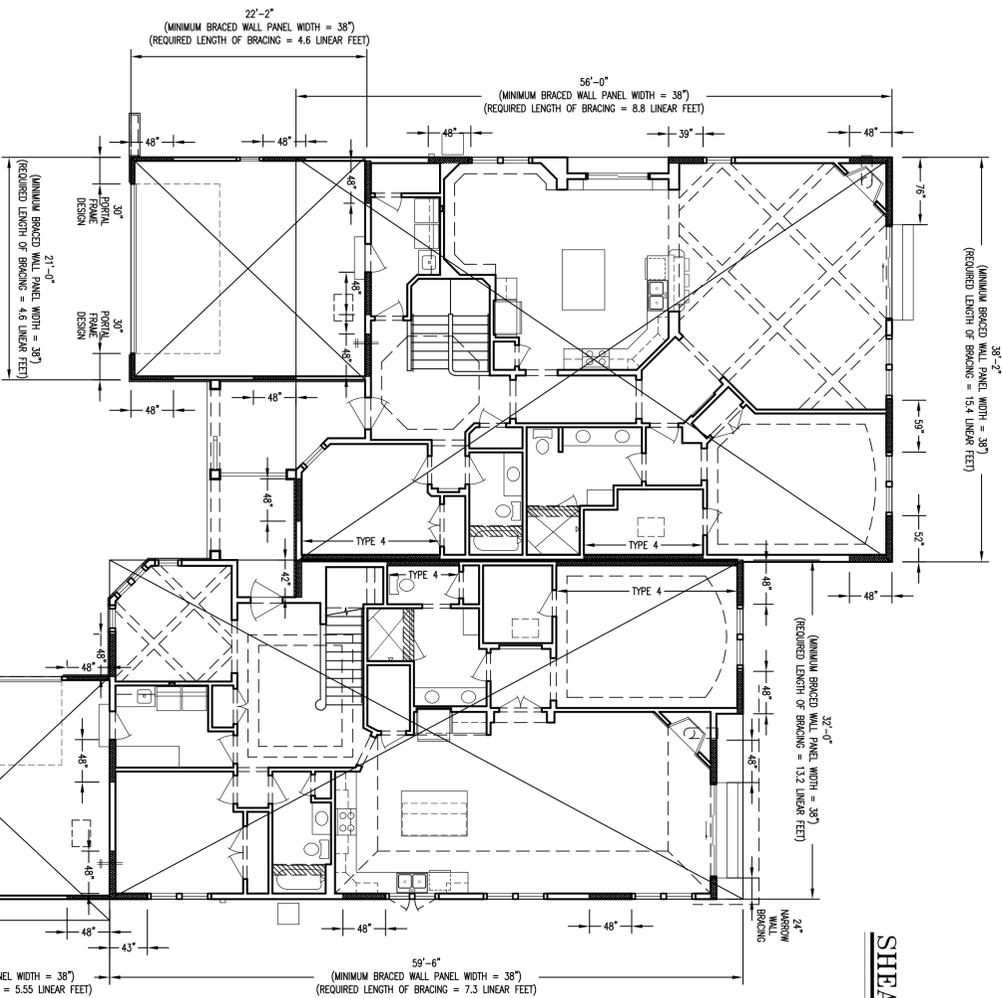
(BOTH UNITS)
 NOTE:
 • (4) LOCATIONS CAT5E/RG60S SINGLE PLATE JACKS

DARTMOOR VILXXX ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



PORTAL FRAME DESIGN
SCALE: 1/2" = 1'-0"



ORDINANCE NO. 20-O

AN ORDINANCE TO REZONE LANDS
SUBURBAN RESIDENTIAL (SR) DISTRICT & RESIDENTIAL MULTI-UNIT LOW (RML)
AS SHOWN ON THE ZONING DISTRICT MAP, CITY OF OCONOMOWOC, WISCONSIN
(PRAIRIE CREEK RIDGE #5 SUBDIVISION)

The Common Council of the City of Oconomowoc, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. The Zoning District Map of the City of Oconomowoc, Wisconsin, dated July 1, 2020, as revised, is hereby amended by rezoning lands currently identified as temporary UR – Urban Reserve District, to SR – Suburban Residential District and RML – Residential Multi-Unit Low. The lands consist of 9.57 acres as being zoned to SR- Suburban Residential and 21.44 acres being zoned to RML – Residential Multi-Unit Low and are located north of Prairie Creek Ridge Addition #2 Subdivision, west of Prairie Creek Ridge Addition #3 Subdivision, tax key number OCOC 0517.996.017, and part of tax key numbers OCOC 0538.999.020, OCOC 0519.999.004 and OCOC 0517.996.016 within the City of Oconomowoc, said lands are precisely described as follows:

SEE REZONING EXHIBIT FOR LEGAL DESCRIPTION - ATTACHED HERETO

SECTION 2. This zoning ordinance amendment and map revision shall be listed on Appendix B of the zoning ordinance of the City of Oconomowoc entitled "List of Amendments to the Official Zoning Map."

SECTION 3. This ordinance shall take effect upon passage and publication as required by law.

DATED: _____

CITY OF OCONOMOWOC

By: _____
Robert Magnus, Mayor

ATTEST:

Diane Coenen, Clerk

Date Adopted: _____

Date Published: _____

Effective Date: _____

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S40°27'13"W	167.58'
L2	S60°45'28"W	82.10'
L3	S60°45'28"W	82.00'
L4	S56°49'34"W	81.91'
L5	S42°53'29"W	82.08'
L6	S28°55'41"W	81.98'
L7	S14°58'42"W	82.01'
L8	S04°08'46"W	81.95'
L9	S84°08'57"W	128.23'
L10	S84°08'57"W	30.00'
L11	S00°28'46"W	51.85'
L12	N89°31'14"W	178.37'
L13	N00°28'46"E	57.62'
L14	N51°47'10"W	111.44'
L15	N42°14'08"W	108.34'
L16	N32°49'11"W	108.34'
L17	N43°24'06"W	26.72'
L18	N02°24'54"W	130.00'
L19	N39°36'45"W	75.32'
L20	N02°24'54"W	138.23'
L21	N08°10'16"E	110.75'
L22	N17°02'40"E	102.11'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L23	N25°55'05"E	102.11'
L24	N34°47'30"E	102.11'
L25	N43°39'54"E	102.11'
L26	N64°37'18"E	124.46'
L27	N47°08'00"E	82.77'
L28	N63°39'13"E	130.06'
L29	N62°15'25"E	130.10'
L30	N65°03'06"E	30.00'
L31	N00°28'46"E	109.10'
L32	N11°51'10"E	130.59'
L33	N21°13'02"E	20.00'
L34	N20°48'50"E	149.59'
L35	N28°56'34"E	224.85'
L36	S88°59'42"W	25.79'
L37	S89°09'42"W	92.70'
L38	N84°07'10"W	92.58'
L39	N79°35'04"W	92.58'
L40	N75°02'59"W	92.58'
L41	N70°28'55"W	93.93'
L42	N21°49'07"E	140.00'
L43	N35°01'57"E	30.00'

CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	92.98'	1167.50'	N47°15'54"W	92.95'
C2	92.98'	1167.50'	N42°42'07"W	92.95'
C3	463.87'	500.00'	S32°25'42"E	447.41'
C4	155.73'	150.00'	S29°15'48"E	148.83'
C5	429.31'	1000.00'	S37°14'50"E	426.02'
C6	237.55'	1030.00'	N61°34'28"W	237.02'
C7	94.62'	1000.00'	N52°15'24"W	94.59'

RE-ZONING EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

SHEET 2 OF 3 08/21/2020

PLAN | DESIGN | DELIVER

WWW.PINNACLE-ENGR.COM PEG JOB# 218.50

LEGAL DESCRIPTION OF LAND TO BE ZONED SR - SINGLE FAMILY RESIDENTIAL:

Being a part of the Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Southwest 1/4 of Section 22 and a part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 27, all in Township 8 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the southwest corner of the Southeast 1/4 of said Section 22; thence South 89°18'23" East along the south line of said Southeast 1/4, 401.16 feet; thence South 00°41'37" West, 58.33 feet to the Point of Beginning;

Thence South 40°27'13" West, 167.58 feet to a point on a curve; thence northwesterly 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 47°15'54" West, 92.95 feet; thence continuing 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 42°42'07" West, 92.95 feet; thence South 60°45'28" West, 82.10 feet; thence South 60°45'28" West, 82.10 feet; thence South 56°49'34" West, 81.91 feet; thence South 42°53'29" West, 82.08 feet; thence South 28°55'41" West, 81.98 feet; thence South 14°59'42" West, 82.01 feet; thence South 04°08'46" West, 81.95 feet; thence South 84°08'57" West, 128.23 feet; thence South 84°08'57" West, 30.00 feet to a point on a curve; thence southeasterly 463.87 feet along the arc of said curve to the left, whose radius is 500.00 feet and whose chord bears South 32°25'42" East, 447.41 feet to a point of reverse curve; thence southeasterly 155.73 feet along the arc of said curve to the right, whose radius is 150.00 feet and whose chord bears South 29°15'48" East, 148.83 feet; thence South 00°28'46" West, 57.82 feet; thence North 51°47'10" West, 111.44 feet; thence North 89°31'14" West, 128.23 feet along said north line, 178.37 feet; thence North 00°28'46" West, 26.72 feet; thence North 02°24'54" West, 130.00 feet; thence North 39°36'45" West, 75.32 feet; thence North 02°24'54" West, 108.34 feet; thence North 43°24'06" East, 148.83 feet; thence North 00°28'46" West, 57.82 feet; thence North 51°47'10" West, 111.44 feet; thence North 89°31'14" West, 128.23 feet; thence North 08°10'16" East, 110.75 feet; thence North 17°02'40" East, 102.11 feet; thence North 25°55'05" East, 102.11 feet; thence North 34°47'30" East, 102.11 feet; thence North 43°39'54" East, 102.11 feet; thence North 64°37'18" East, 124.46 feet; thence North 47°08'00" East, 62.77 feet; thence North 63°39'13" East, 130.06 feet; thence North 62°15'25" East, 130.10 feet; thence North 65°03'06" East, 30.00 feet to a point on a curve; thence southeasterly 429.31 feet along the arc of said curve to the left, whose radius is 1000.00 feet and whose chord bears South 37°14'50" East, 426.02 feet to the Point of Beginning.

LEGAL DESCRIPTION OF LAND TO BE ZONED RML - MULTI FAMILY RESIDENTIAL (LOW):

Being a part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Northeast 1/4 of said Section 27; thence South 89°18'23" East along the north line of said Northeast 1/4, 401.16 feet; thence South 00°41'37" West, 58.33 feet to the Point of Beginning;

Thence South 40°27'13" West, 167.58 feet to a point on a curve; thence northwesterly 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 47°15'54" West, 92.95 feet; thence continuing 92.98 feet along the arc of said curve to the right, whose radius is 1167.50 feet and whose chord bears North 42°42'07" West, 92.95 feet; thence South 60°45'28" West, 82.10 feet; thence South 60°45'28" West, 82.10 feet; thence South 56°49'34" West, 81.91 feet; thence South 42°53'29" West, 82.08 feet; thence South 28°55'41" West, 81.98 feet; thence South 14°59'42" West, 82.01 feet; thence South 04°08'46" West, 81.95 feet; thence South 84°08'57" West, 128.23 feet; thence South 84°08'57" West, 30.00 feet to a point on a curve; thence southeasterly 463.87 feet along the arc of said curve to the left, whose radius is 500.00 feet and whose chord bears South 32°25'42" East, 447.41 feet to a point of reverse curve; thence southeasterly 155.73 feet along the arc of said curve to the right, whose radius is 150.00 feet and whose chord bears South 29°15'48" East, 148.83 feet; thence South 00°28'46" West, 57.82 feet; thence North 51°47'10" West, 111.44 feet; thence North 89°31'14" West, 128.23 feet along said north line and then continuing along the north line of Prairie Creek Ridge, 916.28 feet to the west line of Prairie Creek Ridge Addition No. 2; thence South 89°31'14" East along said west line:

North 00°28'46" East, 109.10 feet; North 11°51'10" East, 130.59 feet; North 21°13'02" East, 20.00 feet; thence North 20°48'50" East, 149.59 feet; North 28°56'34" East, 224.85 feet; South 88°59'42" West, 25.79 feet; South 89°09'42" West, 92.70 feet; North 84°07'10" West, 92.58 feet; North 79°35'04" West, 92.58 feet; North 75°02'59" West, 92.58 feet; North 70°28'55" West, 93.93 feet; North 21°49'07" East, 140.00 feet to the south right of way line of Whalen Drive;

Thence northwesterly 237.55 feet along the arc of said curve to the right and said south right of way line, whose radius is 1030.00 feet and whose chord bears North 61°34'28" West, 237.02 feet to the west right of way line of said Whalen Drive; thence North 35°01'57" East along said west right of way line, 30.00 feet to a point on a curve; thence northwesterly 94.62 feet along the arc of said curve to the right, whose radius is 1000.00 feet and whose chord bears North 52°15'24" West, 94.59 feet to the Point of Beginning.

RE-ZONING EXHIBIT
PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186

SHEET 3 OF 3 **08/21/2020**

PLAN | DESIGN | DELIVER

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PEG JOB # 218.50



Development Application

Department of City Planning
 174 E. Wisconsin Avenue Oconomowoc, WI
 www.ocomowoc-wi.gov | 262.569.2166

X	Description	Administrative Fee
	Administrative Design Review	\$ 75.00
	Major Design Review	\$ 75.00
	Conditional Use Permit	\$ 500.00
	Zoning Determination Letter	\$ 100.00
	Temporary Use Permit	\$ 75.00
	Temporary Use Permit - Renewal	No Charge
	Variance	\$ 425.00
	Special Exceptions	\$ 425.00
	Appeals of Zoning Administrator	\$ 300.00
X	Zoning Map Amendment (From UR To SR/RML)	\$ 425.00
	Zoning Text Amendment	\$ 425.00
X	Comprehensive Plan Amendment	\$ 300.00
	Planned Development District Step 1: Pre-application Conference	No Charge
	Step 2: Concept Plan Review	\$ 75.00
	Step 3: General Development Plan Review	\$ 200.00
	Preliminary or Final Plat Review	\$ 75.00
	Certified Survey Map or Extraterritorial Plat/CSM Review	\$ 75.00

*NOTE: Administrative filing fees are due at the time an application is filed with the City Clerk's Office and are not refundable. In addition to the Administrative fees, City Staff time (City Engineer, City Planner & City Attorney) will be charged back to the applicant. The Applicant will receive monthly invoices of payments due.

Date: 09/17/2020

Project/Business Name: Prairie Creek Ridge Addition No. 5

Address/Location: Whalen Drive (East of Brown Street and North of Lake Drive)

City, State, Zip Code: Oconomowoc, WI 53066

Proposed Use of Property: Residential - Subdivision and Multi-Family Residential (Low)

Applicant:	Mike Kaerek Kaerek Homes 11800 W Lincoln Avenue West Allis, WI 53227 Ph: 414-321-5300 mikekaerek@kaerekhomes.com	Property Owner:	L&N.M., Enterprises LLC c/o Robert J. Miller, Jr. N68 W 35460 CTH "K"
Address:		Address:	
City/State/Zip:		City/State/Zip:	Oconomowoc, WI 53066
Phone:	Craig Caliendo Kettle Creek Homes 700 Pilgrim Parkway Elm Grove, WI 53122	Phone:	262-966-2702
E-mail:		E-mail:	rmillerfarms@att.net
Signature:	Mike Bickler, Prairie Creek Ridge LLC. mbickler@stonewoodcompanies.com 414-870-8705	Signature:	<i>Robert J. Miller</i>

This form is not valid unless signed by Owner or Agent under a written power-of-attorney (please provide). I, Owner/one of the Owner's of the property, declare that this application (including any accompanying documents) has been examined by me and to the best of my knowledge and belief is true, correct and complete. I further accept all liability, which may be a result of the City of Oconomowoc relying on this information I am providing in this application.



MEADOW VIEW
ELEMENTARY SCHOOL

REGIONAL
STORMWATER
POND

INFILTRATION
BASIN

FUTURE
SINGLE FAMILY
DEVELOPMENT

WALLEN DRIVE

PAGE 2/2



7/15/2020

PRARIE CREEK RIDGE EXPANSION
PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53186 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 218.50

Planning Staff Report

City of Oconomowoc

Village Crossing II, Addendum #11 *Plan Commission –10/14/2020*

Condominium Plat Review

Summary: The developer submitted plans for the next phase of the Condominium Plat for Village Crossing II project within the Village Crossing Condominium development. This phase is called Addendum No. 11.

Property Location: – See Map Below

Property Owner: Wyndale Investments, LLC (Craig Caliendo)
700 Pilgrim Parkway, #100
Elm Grove, WI 53122

Applicant: Craig Caliendo - Same as Owner

Existing Zoning: RML / PD – Residential Multi-Unit Low / Planned Development

Existing Land Use: Currently vacant land

Proposed Land Use: Twenty-four residential condominiums (12 duplex buildings)



Location Map

Summary:

The applicant has been submitting various addendums to the Condominium Plat for Village Crossing II development. This has been considered an expandable plat, so the buildings are platted as they are built. This specific phase will be for the lands south of Gold Medal Drive that includes a private road called Derby Lane.

Zoning, Site Plan and Comprehensive Plan:

This development is consistent with the underlying zoning, the previously approved site plans and the Comprehensive Plan.

Condominium Plat Process:

This project is a residential condominium development. Earlier phases have been approved via a condominium plat.

Recent History:

The most recent history for this site took place July 8, 2020 when the Plan Commission approved the Major Design Review Plans for this part of the development. The minutes of that meeting are attached for your reference. At that time, Planning Staff “noted that the applicant will need to come back with their condominium plat for the property”.

Final Thoughts:

Planning Staff and other City Departments are comfortable with the condominium plat Addendum #11 for Village Crossing II development. The plat continues to resemble the approved General Development Plan that was previously approved.

Recommendation:

Planning Staff recommends the Plan Commission recommend **approval** of the Condominium Plat for the Village Crossing Condominium II, Addendum #11.

Submitted by: _____


Jason Gallo, AICP
City Planner/Zoning Administrator

**City of Oconomowoc
Plan Commission Meeting Minutes
July 8, 2020**

Chairman Magnus called the meeting to order at 6:30 pm.

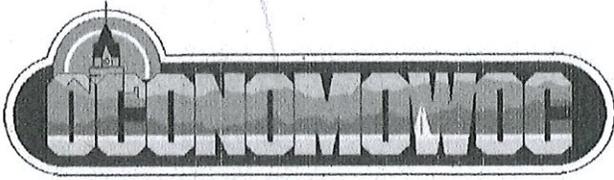
Members Present: Commissioners Chad Vande Zande, John Gross, Ken Brotheridge, Chairman Robert Magnus, Steve Ritt, Dean Frederick and Lou Kowieski

Others Present: Jason Gallo, Mark Frye, Atty. Stan Riffle and Chris Dehnert

2. Approve Minutes of June 10, 2020: Motion by Ritt to approve the June 10, 2020 minutes; second by Brotheridge. Motion carried 7-0.

3a. Consider / approve the Major Design Review Plans for Village Crossing Condominiums Addendum No. 11 located on Derby Drive, north of Village Lane: Gallo explained this request is to amend the site plan for this development. The property is zoned Residential Multi-Use Low and is currently vacant. The request is to build 12 duplex buildings (24 units) which is a change from the original request to build 14 buildings (28 units) on the property. The individual building footprints are also being changed to be slightly larger; private drives remain the same; and the middle driveway is being eliminated. Gallo noted this change to the site plan is considered a minor amendment. The engineering plans have been reviewed and approved by staff, and the Western Lakes Fire District, which had been concerned with the turning radius of their trucks, also approved the plans. There will be sidewalk on 3 sides of the development and some street trees are shown on the plans. A landscaping plan is not required for duplex projects so one was not provided. However, this developer has been very good with landscaping their other developments. Gallo recommended approval and noted the applicant will need to come back with their condominium plat for the property. Motion by Ritt to approve the Major Design Review Plans for Village Crossing Condominiums on Derby Drive; second by Frederick. Motion carried 7-0.

3b. Consider / recommend the Tower Ridge Condominium Plat located at 265 Thurow Drive: Gallo explained this request is to change the apartment complex into individual condominium units for private ownership. This development was approved as an apartment complex with 27 units in 2019. The applicant realized the demand for condominiums and people were interested in purchasing their own units. The applicant, David Hoffmann, will own all the units until they are sold. He added if people aren't interested in purchasing a residential unit, they will still be allowed to rent it and the unit will then be sold in the future. If approved by Council, the plat will go to the Register of Deeds who will issue individual tax keys for each unit. There is a total of 82 parking stalls and each unit has at least 2 stalls with the option to purchase a garage stall. A technical review was done by staff, and there were concerns with 27 owners having a share of the ownership responsibilities of the stormwater pond. A separate maintenance agreement will be attached to the covenants and restrictions and each owner will get a copy of the agreement. Gallo recommended approval. Members questioned if a residential unit can be sold without a garage; can a private individual buy a parking stall; what happens to the stormwater pond until all units are sold; and concerned that the HOA will be able to handle all maintenance costs until all units are sold. Hoffmann explained there are a couple of stalls available for purchase in the lower level; it is conceivable but not expected that a person could purchase a residential unit and not want a parking stall; he expects it will take 2-1/2 to 3-1/2 years to convert all units to condo's; he doesn't intend on residential units being rented; he will actively manage the property until all ownership catches up and the condo owners can take over; and explained his plan for stepping back his ownership of the property including the stormwater pond. Hoffmann clarified everything will be written into the condo documents. Riffle clarified the stormwater pond will be the owner's responsibility and suggested that a Declaration of Restrictions be approved before the Plat is approved. Members questioned if the garage units would have individual tax keys and if so, can non-owners purchase them. Riffle clarified that a statement could be included in the documents that all units must be owned by an individual who owns or resides in the building. Motion by Ritt to recommend to Council the Tower Ridge Condominium Plat for 265 Thurow Drive with all concerns that have been raised to be addressed by the City Attorney before going on to Council; second by Frederick. Motion carried 7-0.



STAFF RECOMMENDATION FORM

TYPE OF REQUEST: **CONDO PLAT**

PROJECT NAME: **VILLAGE CROSSING - ADDENDUM #11**

TAX KEY NO.:

PROJECT ADDRESS/LOCATION: **DERBY LANE**

RECOMMENDATION SIGNATURES

CITY PLANNER: *Jean Zall* Date: **9/25/20**

Comments:

CITY ENGINEER: *Shane A. Lynch* Date: **10/2/20**

Comments:

DIRECTOR OF PUBLIC WORKS: *David J. J...* Date: **10.06.20**

Comments:

WASTEWATER: *Kendall* Date: **10-2-2020**

Comments:

WATER: *Jim...* Date: **10-6-20**

Comments:

ELECTRIC: *Jim...* Date: **10-6-20**

Comments:

PARKS, RECREATION & FORESTRY: *LA* Date: **9-30-20**

Comments:

POLICE CHIEF: *Tom* Date: **10-6-20**

Comments:

FIRE: *Andy...* Date: **10-5-20**

Comments:

DIRECTOR OF FINANCE: *Per Daniel Sullivan* Date: **10/6/2020**

Comments:

ECONOMIC DEVELOPMENT DIRECTOR: *Robert Duffy* Date: **10-6-20**

Comments:



Development Application

Department of City Planning
 174 E. Wisconsin Avenue Oconomowoc, WI
 www.oconomowoc-wi.gov | 262.569.2166

X	Description	Administrative Fee
	Administrative Design Review	\$ 75.00
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	Temporary Use Permit - Renewal	No Charge
	Variance	\$ 425.00
	Special Exceptions	\$ 425.00
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	Zoning Text Amendment	\$ 425.00
	Comprehensive Plan Amendment	\$ 300.00
	Planned Development District	Step 1: Pre-application Conference
		Step 2: Concept Plan Review
		Step 3: General Development Plan Review
✓	Preliminary or Final Plat Review	\$ 75.00
	Certified Survey Map or Extraterritorial Plat/CSM Review	\$ 75.00
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Date: 9/23/2020		
Project/Business Name: Village Crossing at Pabst Farms Condominium		
Address/Location: Derby Lane		
City, State, Zip Code: Oconomowoc		
Proposed Use of Property: Condominiums		
Applicant: Wyndale Investments, LLC.		Property Owner: Wyndale Investments, LLC.
Address: 700 Pilgrim Pkwy. #100		Address: 700 Pilgrim Pkwy. #100
City/State/Zip: Elm Grove 53122		City/State/Zip: Elm Grove 53122
Phone: 414-333-2059		Phone: 414-333-2059
E-mail: ccaliendo@kingswayhomes.com		E-mail: ccaliendo@kingswayhomes.com
Signature:		Signature:

This form is not valid unless signed by Owner or Agent under a written power-of-attorney (please provide). I, Owner/one of the Owner's of the property, declare that this application (including any accompanying documents) has been examined by me and to the best of my knowledge and belief is true, correct and complete. I further accept all liability, which may be a result of the City of Oconomowoc relying on this information I am providing in this application.

CONDOMINIUM PLAT OF VILLAGE CROSSING AT PABST FARMS CONDOMINIUM ADDENDUM NO. 11

Being a part of the Southwest 1/4 and Northwest 1/4 of the
Northwest 1/4 Section 14, Township 7 North, Range 17
East, City of Oconomowoc, Waukesha County, Wisconsin.

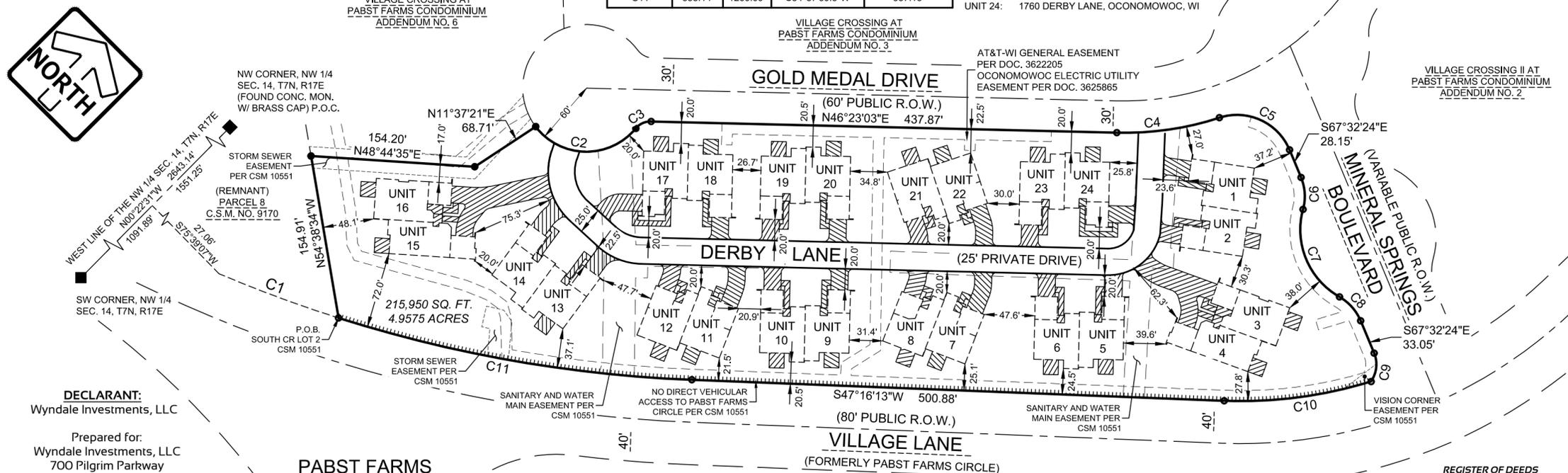
CURVE TABLE				
CURVE NO.	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	286.01'	1260.00'	N69°08'58"E	285.39'
C2	108.24'	60.00'	N46°02'36"E	94.15'
C3	16.34'	18.00'	N20°22'27"E	15.79'
C4	97.98'	290.00'	N36°42'17.5"E	97.52'
C5	79.77'	53.50'	N69°44'34"E	72.59'
C6	30.63'	46.50'	S48°40'12"E	30.08'
C7	96.17'	73.00'	S67°32'24.5"E	89.36'
C8	30.63'	46.50'	S86°24'36.5"E	30.08'
C9	28.07'	28.00'	S38°49'18.5"E	26.91'
C10	139.92'	410.00'	S37°29'38"W	139.24'
C11	338.14'	1260.00'	S54°57'30.5"W	337.13'

ADDRESS:

- UNIT 1: 1751 DERBY LANE, OCONOMOWOC, WI
- UNIT 2: 1753 DERBY LANE, OCONOMOWOC, WI
- UNIT 3: 1755 DERBY LANE, OCONOMOWOC, WI
- UNIT 4: 1757 DERBY LANE, OCONOMOWOC, WI
- UNIT 5: 1759 DERBY LANE, OCONOMOWOC, WI
- UNIT 6: 1761 DERBY LANE, OCONOMOWOC, WI
- UNIT 7: 1763 DERBY LANE, OCONOMOWOC, WI
- UNIT 8: 1765 DERBY LANE, OCONOMOWOC, WI
- UNIT 9: 1767 DERBY LANE, OCONOMOWOC, WI
- UNIT 10: 1769 DERBY LANE, OCONOMOWOC, WI
- UNIT 11: 1771 DERBY LANE, OCONOMOWOC, WI
- UNIT 12: 1773 DERBY LANE, OCONOMOWOC, WI
- UNIT 13: 1775 DERBY LANE, OCONOMOWOC, WI
- UNIT 14: 1777 DERBY LANE, OCONOMOWOC, WI
- UNIT 15: 1779 DERBY LANE, OCONOMOWOC, WI
- UNIT 16: 1781 DERBY LANE, OCONOMOWOC, WI
- UNIT 17: 1774 DERBY LANE, OCONOMOWOC, WI
- UNIT 18: 1772 DERBY LANE, OCONOMOWOC, WI
- UNIT 19: 1770 DERBY LANE, OCONOMOWOC, WI
- UNIT 20: 1768 DERBY LANE, OCONOMOWOC, WI
- UNIT 21: 1766 DERBY LANE, OCONOMOWOC, WI
- UNIT 22: 1764 DERBY LANE, OCONOMOWOC, WI
- UNIT 23: 1762 DERBY LANE, OCONOMOWOC, WI
- UNIT 24: 1760 DERBY LANE, OCONOMOWOC, WI

NOTES:

- All portions of the property that are not specified as Limited Common Elements or as a Unit shall be considered a Common Element.
- Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
- Length of Limited Common Element from garage to curb varies and is intended to cover that entire portion of the driveway between the curb and the garage.
- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The north line of the Northeast 1/4 of Section 15, Township 7 North, Range 17 East has a bearing of N89°36'37"W.

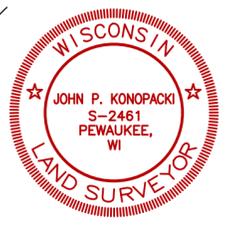


DECLARANT:
Wyndale Investments, LLC

Prepared for:
Wyndale Investments, LLC
700 Pilgrim Parkway
Elm Grove, WI 53122
262-402-6220

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

- LEGEND:**
- - Denotes Found 1" Iron Pipe
 - - Denotes Found 3/4" Iron Rod
 - ▨ - Indicates Limited Common Elements
 - ||||| - Indicates "No Access"



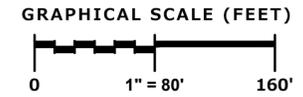
SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify that I have surveyed and mapped the lands shown and described hereon and that this is a true and correct representation of VILLAGE CROSSING AT PABST FARMS CONDOMINIUM NO. 11, a condominium and that the identification and location of each unit and the common elements can be determined from this plat.

SIGNED _____
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461

SEPTEMBER 14, 2020

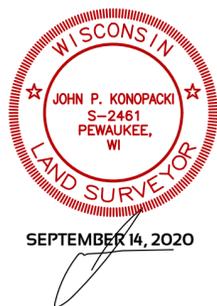
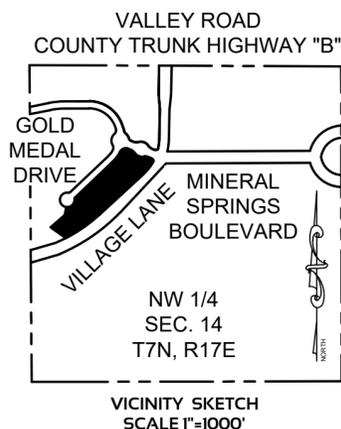


This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

www.pinnacle-engr.com

**CONDOMINIUM PLAT OF
VILLAGE CROSSING AT PABST
FARMS CONDOMINIUM
ADDENDUM NO. 11**

Being a part of the Southwest 1/4 and Northwest 1/4 of the
Northwest 1/4 Section 14, Township 7 North, Range 17
East, City of Oconomowoc, Waukesha County, Wisconsin.



This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

LEGAL DESCRIPTION OF CONDOMINIUM LAND:

Being all of Village Crossing at Pabst Farms Condominium Addendum No. 10, as recorded in the Register of Deeds office for Waukesha County as Document No. 4369408, being part of Lot 2 of Certified Survey Map No. 10551, as recorded in the Register of Deeds office for Waukesha County as Document No. 3576473, located in the Southwest 1/4 and Northwest 1/4 the Northwest 1/4 of Section 14, Township 7 North, Range 17 East, City of Oconomowoc, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 14;
Thence South 00°22'31" East along the west line of said Northwest 1/4, 1551.25 feet;
Thence South 75°39'07" West, 27.06 feet to a point of curvature;
Thence northeasterly 286.01 feet along the arc of said curve to the left whose radius is 1260.00 feet and whose chord bears North 69°08'58" East, 285.39 feet to the southerly most corner of Lot 2 of said Certified Survey Map No. 10551 and the Point of Beginning;

Thence North 54°38'34" West, 154.91 feet to the south line of Village Crossing at Pabst Farms Condominium Addendum No. 6; Thence North 48°44'35" East along said south line, 154.20 feet; Thence North 11°37'21" East along said south line, 68.71 feet to a point on a curve and the southeasterly right of way line of Gold Medal Drive; Thence the following courses along said southeasterly right of way line of Gold Medal Drive:

Northeasterly 108.24 feet along the arc of said curve to the left whose radius is 60.00 feet and whose chord bears North 46°02'36" East, 94.15 feet to a point of reverse curve; Northeasterly 16.34 feet along the arc of said reverse curve to the right, whose radius is 18.00 feet and whose chord bears North 20°22'27" East, 15.79 feet; North 46°23'03" East, 437.87 feet to a point on a curve; Northeasterly 97.98 feet along the arc of said curve to the left, whose radius is 290.00 feet and whose chord bears North 36°42'17.5" East, 97.52 feet to a point of reverse curve and the southerly right of way line of Mineral Springs Boulevard;

Thence the following courses along said southerly right of way line Mineral Springs Boulevard:

Northeasterly 79.77 feet along the arc of said curve to the right, whose radius is 53.50 feet and whose chord bears North 69°44'34" East, 72.59 feet; South 67°32'24" East, 28.15 feet to a point on a curve; Southeasterly 30.63 feet along the arc of said curve to the right, whose radius is 46.50 feet and whose chord bears South 48°40'12" East, 30.08 feet to a point of reverse curve; Southeasterly 96.17 feet along the arc of said reverse curve to the left, whose radius is 73.00 feet and whose chord bears South 67°32'24.5" East, 89.36 feet to a point of reverse curve; Southeasterly 30.63 feet along the arc of said reverse curve to the right, whose radius is 46.50 feet and whose chord bears South 86°24'36.5" East, 30.08 feet; South 67°32'24" East, 33.05 feet to a point on a curve; Southeasterly 28.07 feet along the arc of said curve to the right, whose radius is 28.00 feet and whose chord bears South 38°49'18.5" East, 26.91 feet to a point on a curve being the northwesterly right of way line of Village Lane;

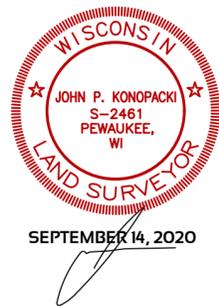
Thence the following courses along said northwesterly right of way line of Village Lane:

Southwesterly 139.92 feet along the arc of said curve to the right, whose radius is 410.00 feet and whose chord bears South 37°29'38" West, 139.24 feet; South 47°16'13" West, 500.88 feet to a point on a curve; Southwesterly 338.14 feet along the arc of said curve to the right, whose radius is 1260.00 feet and whose chord bears South 54°57'30.5" West, 337.13 feet to the Point of Beginning.

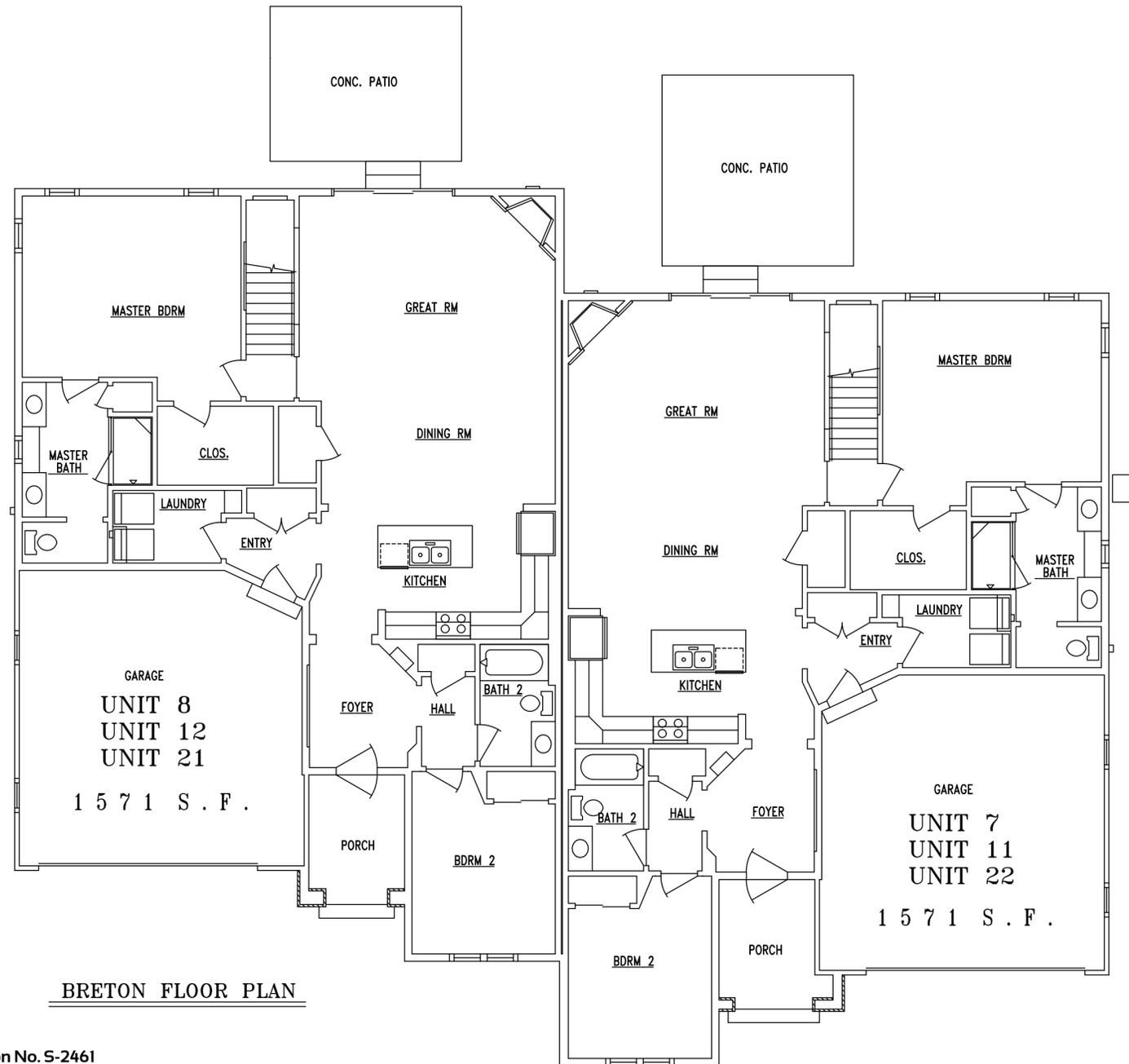


**CONDOMINIUM PLAT OF
VILLAGE CROSSING
AT PABST
FARMS
CONDOMINIUM
ADDENDUM NO. 11**

Being a part of the Southwest 1/4 and
Northwest 1/4 of the Northwest 1/4
Section 14, Township 7 North, Range 17
East, City of Oconomowoc, Waukesha
County, Wisconsin.



- NOTES:**
- Buildings and improvements shown represent proposed construction.
 - Unit Floor Plans may be mirrored in combinations according to Sheet 1.
 - Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
 - Square foot areas are approximate, taken from architectural plans of record, not measured as-built and do not include possible changes requested by purchaser.



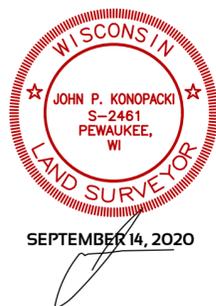
BRETON FLOOR PLAN

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

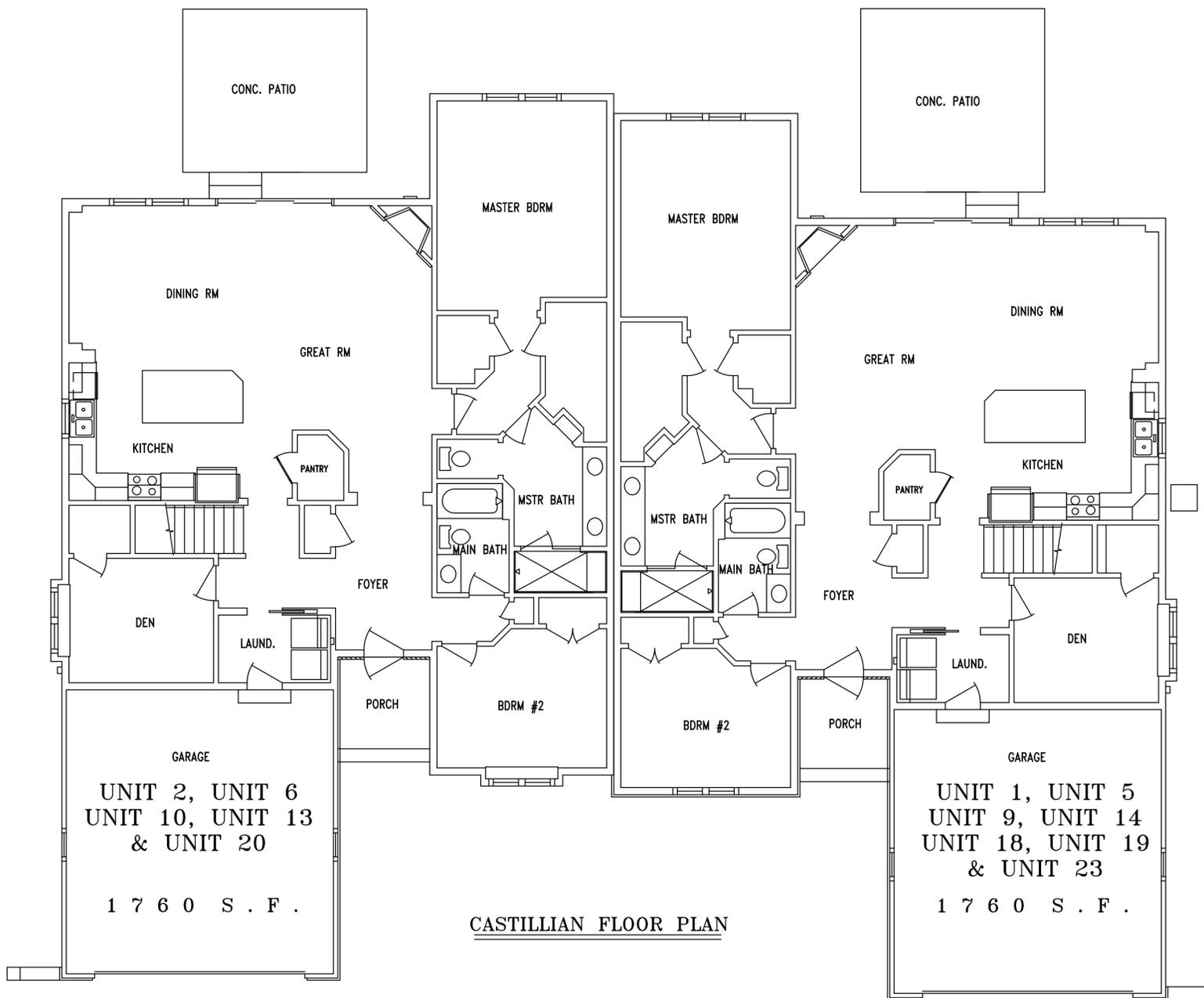
PINNACLE ENGINEERING GROUP

**CONDOMINIUM PLAT OF
VILLAGE CROSSING
AT PABST
FARMS
CONDOMINIUM
ADDENDUM NO. 11**

Being a part of the Southwest 1/4 and
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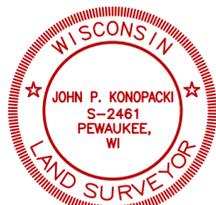
www.pinnacle-engr.com

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

PEG JOB#1955.00
SHEET 6 OF 9

**CONDOMINIUM PLAT OF
VILLAGE CROSSING
AT PABST
FARMS
CONDOMINIUM
ADDENDUM NO. 11**

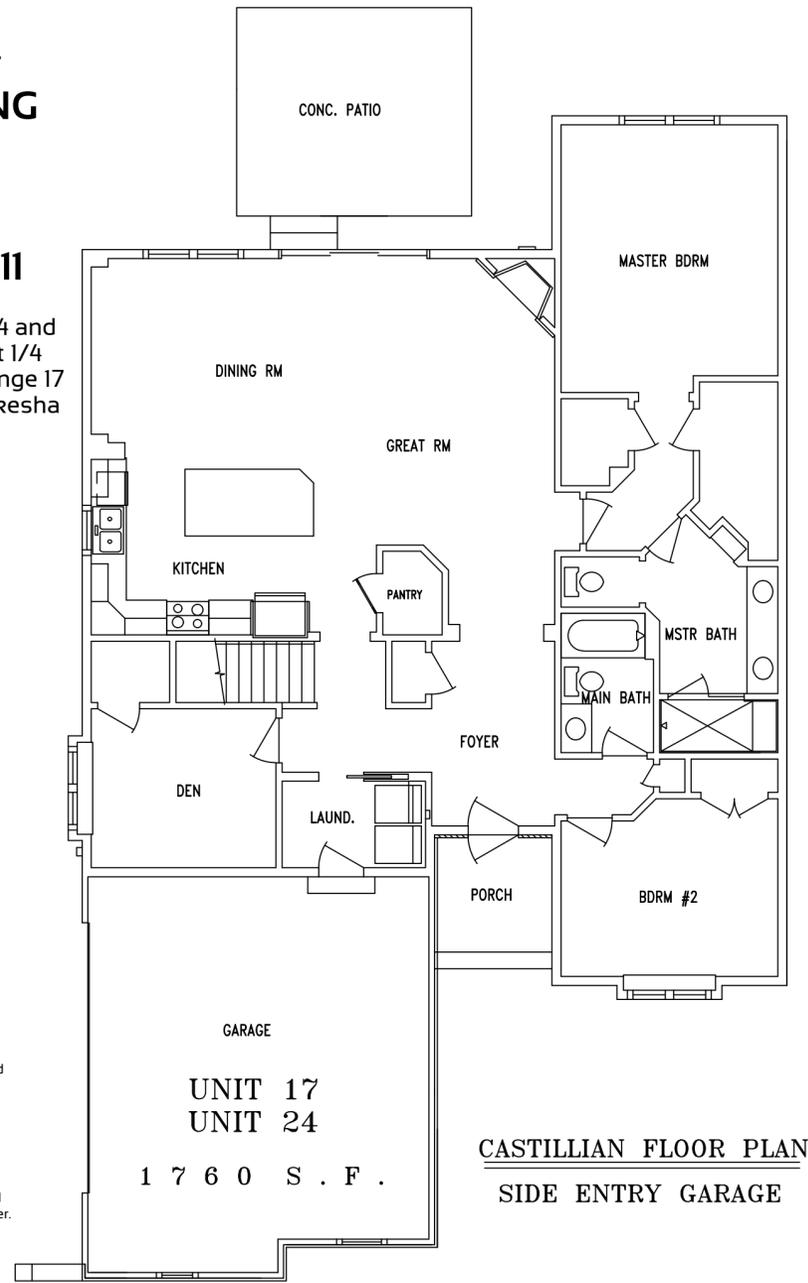
Being a part of the Southwest 1/4 and
Northwest 1/4 of the Northwest 1/4
Section 14, Township 7 North, Range 17
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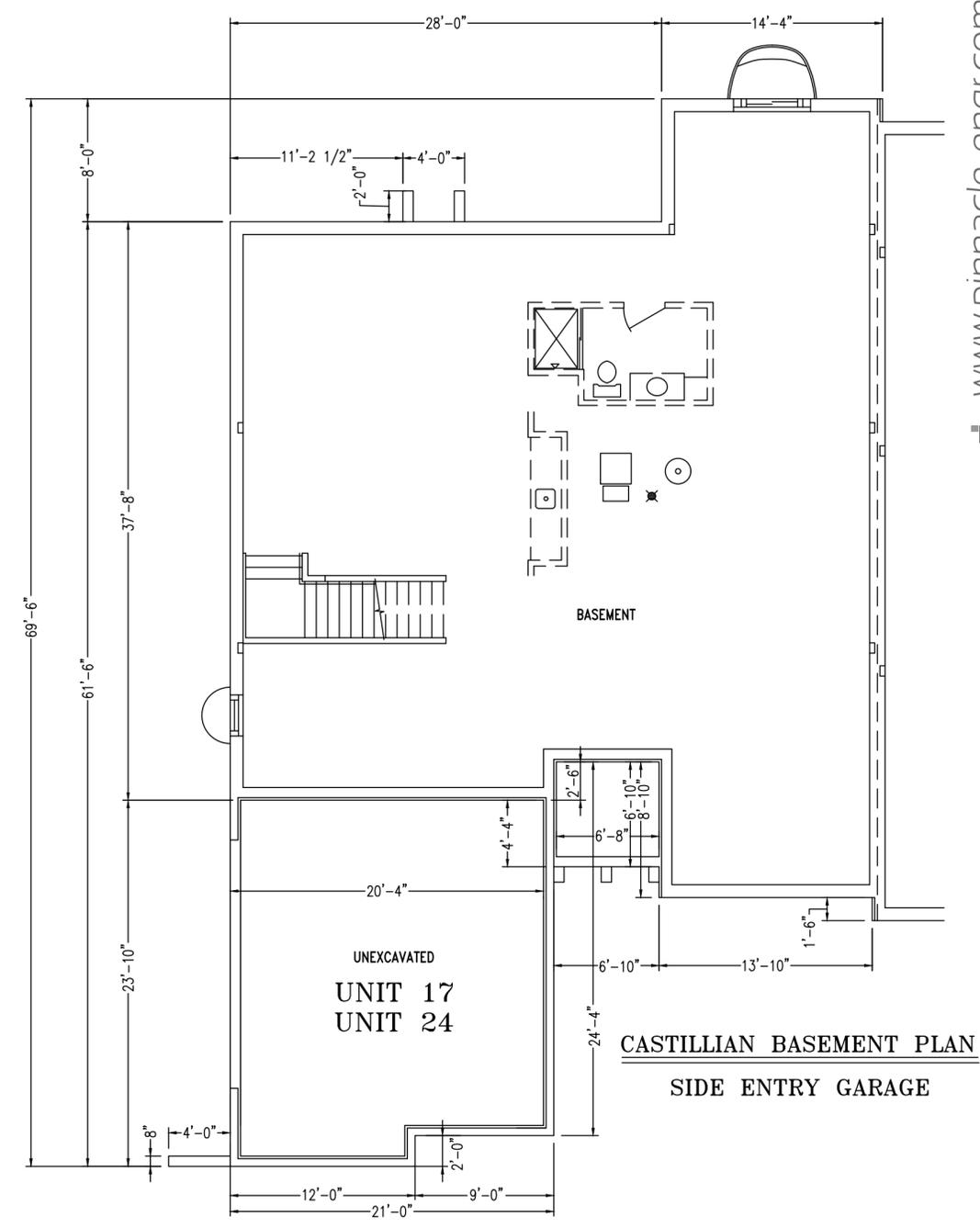
SEPTEMBER 14, 2020

NOTES:

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- Unit Floor Plans may be mirrored in combinations according to Sheet 1.
- Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
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CASTILLIAN FLOOR PLAN
SIDE ENTRY GARAGE



CASTILLIAN BASEMENT PLAN
SIDE ENTRY GARAGE

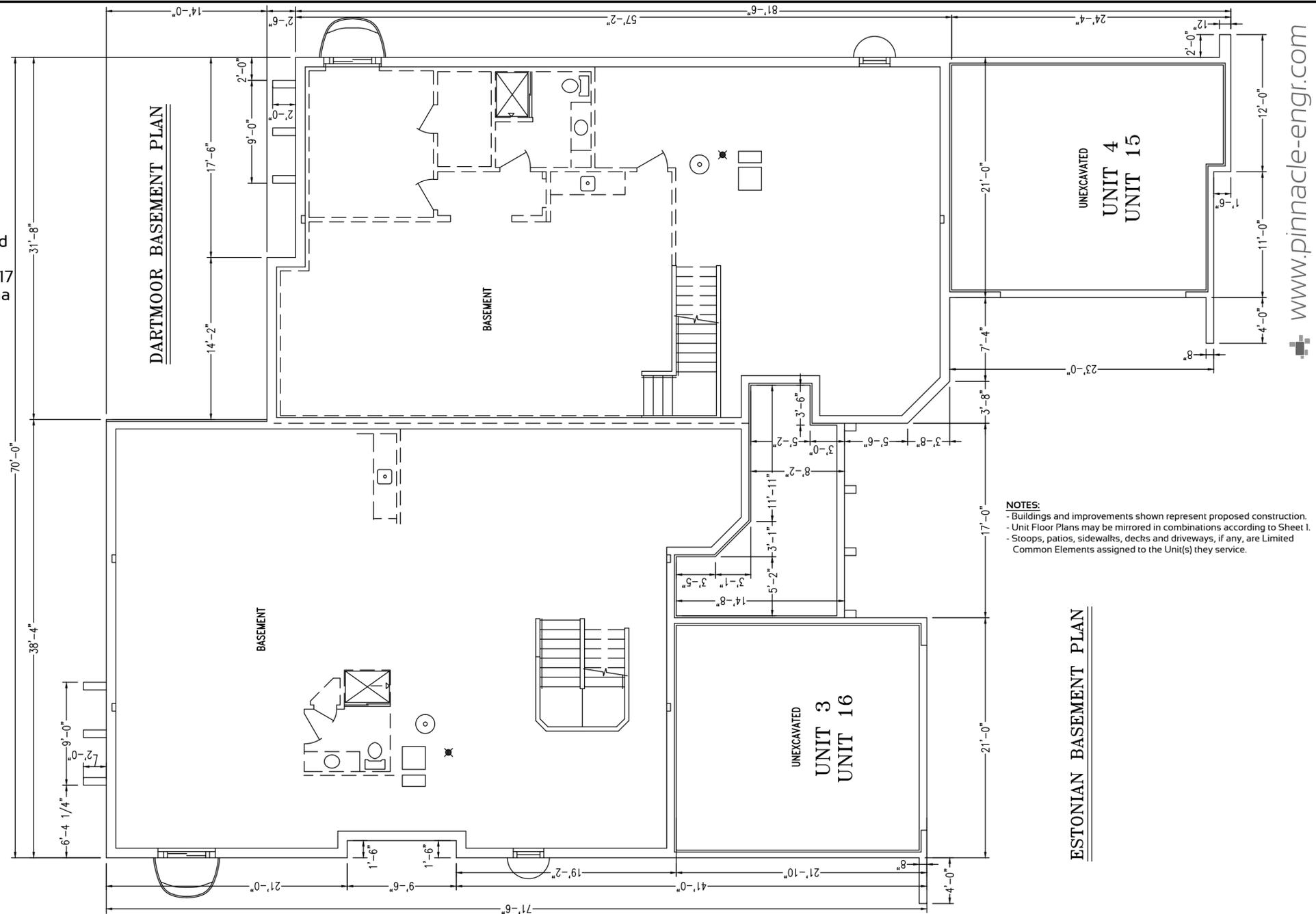
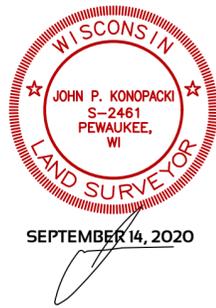
This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

www.pinnacle-engr.com

**CONDOMINIUM PLAT OF
VILLAGE CROSSING
AT PABST
FARMS
CONDOMINIUM
ADDENDUM NO. 11**

Being a part of the Southwest 1/4 and
Northwest 1/4 of the Northwest 1/4
Section 14, Township 7 North, Range 17
East, City of Oconomowoc, Waukesha
County, Wisconsin.



NOTES:
 - Buildings and improvements shown represent proposed construction.
 - Unit Floor Plans may be mirrored in combinations according to Sheet 1.
 - Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.



This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

PEG JOB#1955.00
 SHEET 8 OF 9

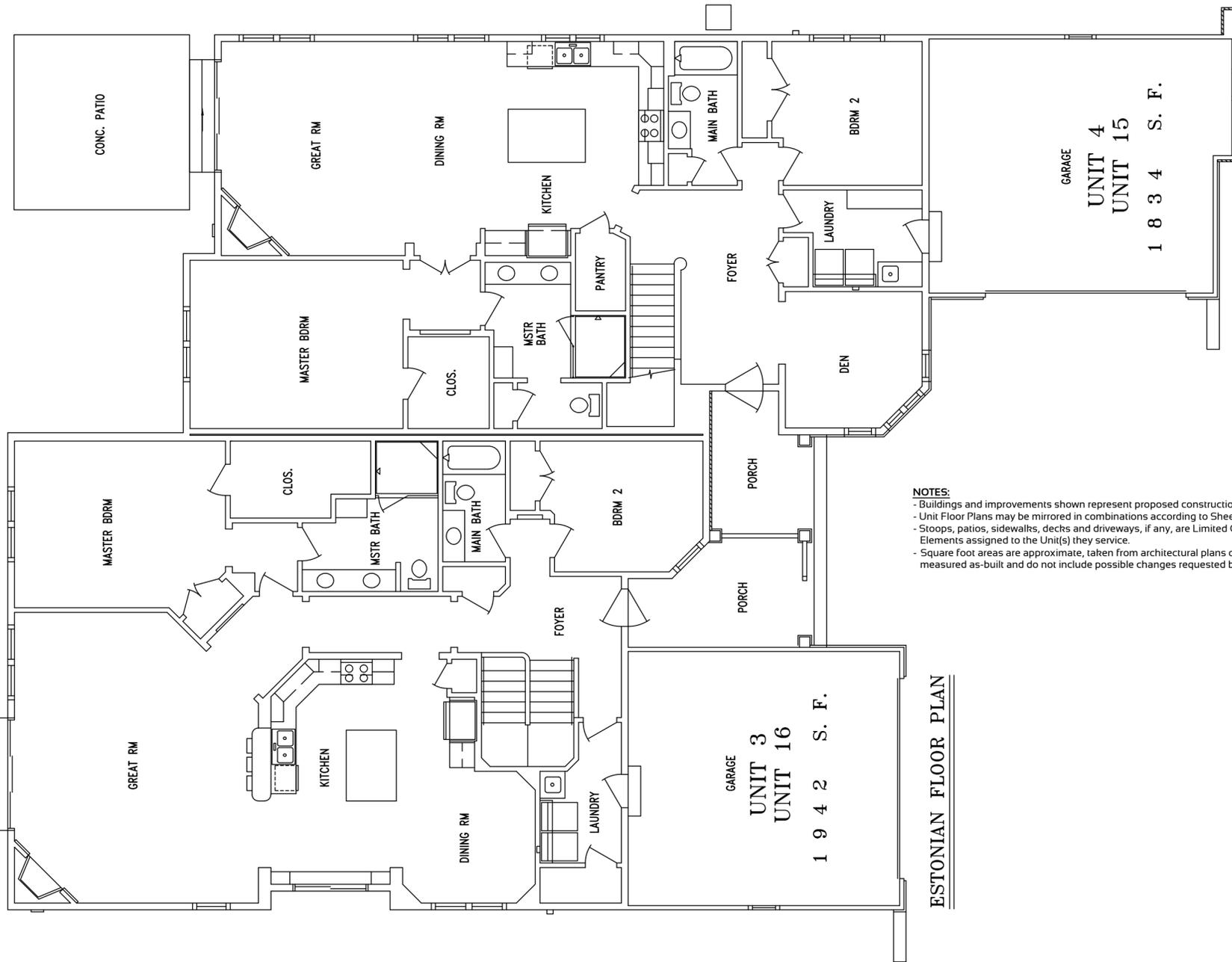
www.pinnacle-engr.com

**CONDOMINIUM PLAT OF
VILLAGE CROSSING
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FARMS
CONDOMINIUM
ADDENDUM NO. 11**

Being a part of the Southwest 1/4 and
Northwest 1/4 of the Northwest 1/4
Section 14, Township 7 North, Range 17
East, City of Oconomowoc, Waukesha
County, Wisconsin.



SEPTEMBER 14, 2020



DARTMOOR FLOOR PLAN

GARAGE
UNIT 4
UNIT 15
1 8 3 4 S. F.

- NOTES:**
- Buildings and improvements shown represent proposed construction.
 - Unit Floor Plans may be mirrored in combinations according to Sheet 1.
 - Stoops, patios, sidewalks, decks and driveways, if any, are Limited Common Elements assigned to the Unit(s) they service.
 - Square foot areas are approximate, taken from architectural plans of record, not measured as-built and do not include possible changes requested by purchaser.

ESTONIAN FLOOR PLAN

GARAGE
UNIT 3
UNIT 16
1 9 4 2 S. F.

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

Planning Staff Report

City of Oconomowoc

Plan Commission – 10/14/2020

Vespera II – Addendum #1

Condominium Plat Review

Summary: The developer submitted the Condominium Plat Addendum #1 for approval for the Vespera II development.

Property Location: NE corner of Valley Road and St. Andrews Drive – See Map Below

Property Owner: Belforte, Inc. (Craig Caliendo)
700 Pilgrim Parkway, #100
Elm Grove, WI 53122

Applicant: Craig Caliendo - Same as Owner

Existing Zoning: RML / PD – Residential Multi-Unit Low / Planned Development

Existing Land Use: Currently vacant land
Proposed Land Use: Thirteen duplex residential condominiums (26 units total)
Condo Plat Add #1: Consists of 2 buildings and a total of 4 units



Location Map

Summary:

The applicant is requesting condominium plat approval for the next phase of Vespera II. The phase consists of 2 duplex buildings, for a total of 4 residential units. The total development was approved with 13 buildings in Vespera II with 26 total residential units.

The overall number of units in the development and the configuration is not changing. If the proposed condo plat is approved, the number of platted units will be 12 units in 6 buildings. Four buildings containing 8 units were in the original phase (March 2020). This phase Addendum #1 will have 2 buildings with 4 residential units. The remaining 14 units (7 buildings) will be requested in future phases of the development. These areas are shown as expansion areas to the north and west of the proposed area.

Condominium Plat Process:

This project is a residential condominium development. Earlier phases (Vespera) have been approved via a condominium plat by a different developer. The developer is aware that the City of Oconomowoc requires all condominium plats, as well as amendments, are to be reviewed and approved by the Plan Commission and Common Council prior to recording. Once approved and recorded at the Waukesha County Register of Deeds office, separate tax key numbers and tax bills will be prepared for each unit.

Recent History:

- November 13, 2019 – Plan Commission recommended the General Development Plan & PD zoning for the updated layout for Vespera II. Condition of the approval was to have a condominium plat approved for the units.
- November 19, 2019 – City Common Council conducted a public hearing and approved the updated Planned Development Overlay zoning for Vespera II.
- March 2020 – City Plan Commission & Common Council approved the initial Condominium plat containing 4 buildings / 8 units.

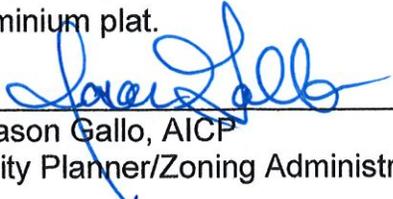
Final Thoughts:

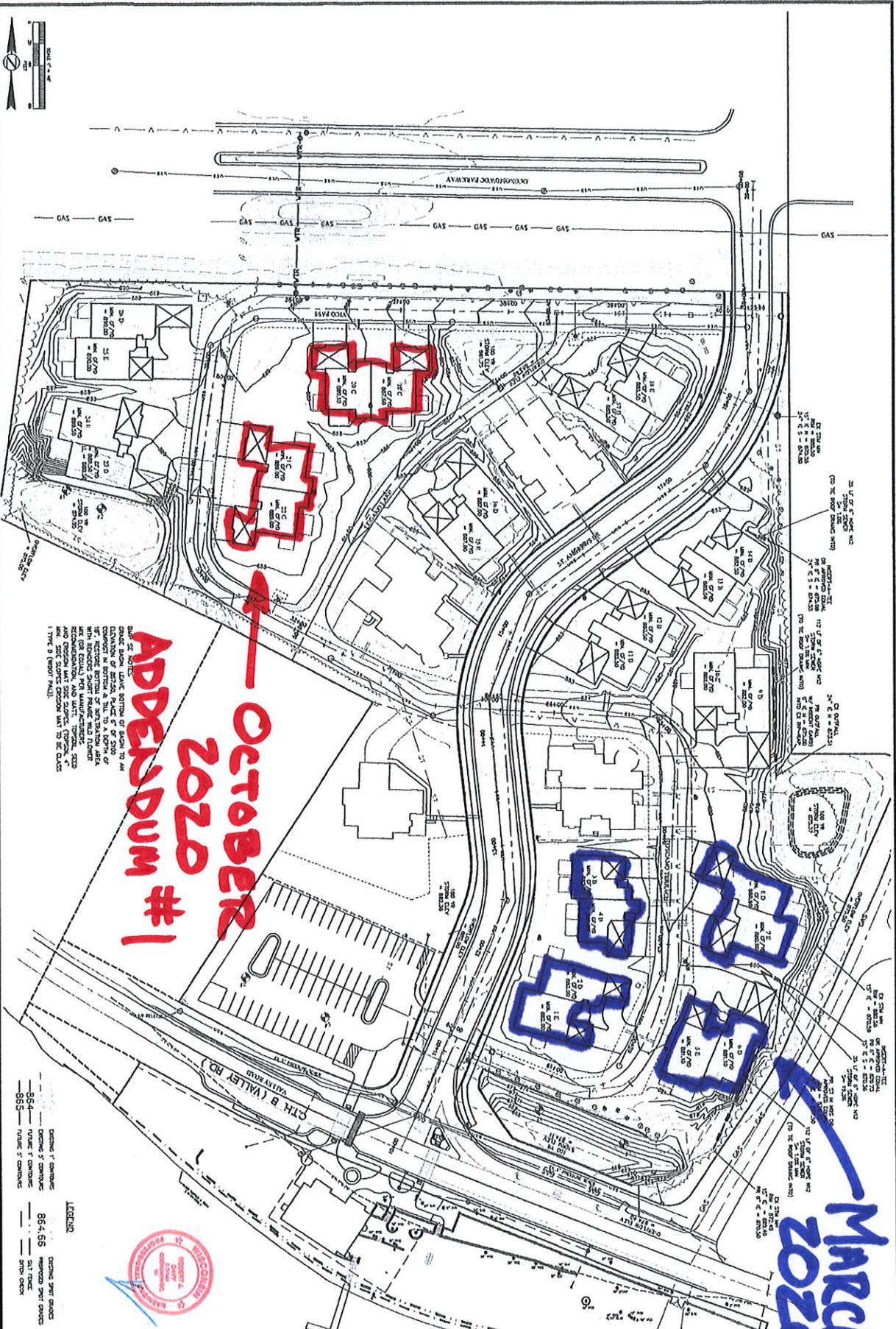
Planning Staff and other City Departments are comfortable with the condominium plat for Vespera II Addendum #1. The plat continues to resemble the approved General Development Plan that was previously approved.

Recommendation:

Planning Staff recommends the Plan Commission recommend **approval** for the Vespera II Condominium plat.

Submitted by: _____


Jason Gallo, AICP
City Planner/Zoning Administrator



**OCTOBER
2020
ADDENDUM #1**

**MARCH
2020**

- LEGEND**
- Existing 1" Contour
 - Existing 2" Contour
 - Existing 3" Contour
 - Existing 4" Contour
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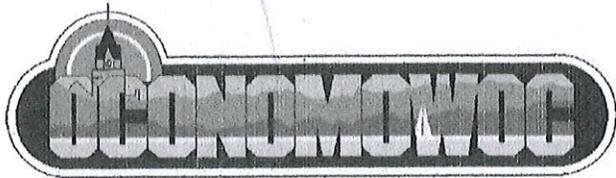


PR SITE PLAN
VESPER II CONDOMINIUMS
 WYNDALE INVESTMENTS, CITY OF OCONOMOWOC
 SW 1/4, S9, T7N, R17E, WAUKESHA COUNTY, WI

LAKE COUNTRY ENGINEERING, INC.
 Consulting Engineers - Surveyors
 270 S. 54th Street, Suite 100, Oconomowoc, WI 53099
 Phone (262) 519-9331 Fax (262) 519-9316

SCALE: 1" = 30'
 DRAWN BY: J.D.
 CHECKED BY: J.D.
 DATE: OCTOBER 4, 2020

REVISION	DATE



STAFF RECOMMENDATION FORM

TYPE OF REQUEST: **CONDOMINIUM PLAT**

PROJECT NAME: **VESPERA II CONDOMINIUMS**

TAX KEY NO.:

PROJECT ADDRESS/LOCATION: **VICO PASS**

RECOMMENDATION SIGNATURES

CITY PLANNER: *[Signature]* Date: **9/29/20**
 Comments:

CITY ENGINEER: *[Signature]* Date: **10/2/2020**
 Comments:

DIRECTOR OF PUBLIC WORKS: *[Signature]* Date: **10.06.20**
 Comments:

WASTEWATER: *[Signature]* Date: **10-2-20**
 Comments:

WATER: *[Signature]* Date: **10-6-20**
 Comments:

ELECTRIC: *[Signature]* Date: **10-6-20**
 Comments:

PARKS, RECREATION & FORESTRY: *[Signature]* Date: **9-30-20**
 Comments:

POLICE CHIEF: *[Signature]* Date: **10-6-20**
 Comments:

FIRE: *[Signature]* Date: **10-5-20**
 Comments:

DIRECTOR OF FINANCE: *[Signature]* Date: **10/6/2020**
 Comments:

ECONOMIC DEVELOPMENT DIRECTOR: *[Signature]* Date: **10-6-20**
 Comments:



Development Application

Department of City Planning
 174 E. Wisconsin Avenue Oconomowoc, WI
 www.oconomowoc-wi.gov | 262.569.2166

X	Description	Administrative Fee
	Administrative Design Review	\$ 75.00
	Major Design Review	\$ 75.00
	Conditional Use Permit	\$ 500.00
	Zoning Determination Letter	\$ 100.00
	Temporary Use Permit	\$ 75.00
	Temporary Use Permit - Renewal	No Charge
	Variance	\$ 425.00
	Special Exceptions	\$ 425.00
	Appeals of Zoning Administrator	\$ 300.00
	Zoning Map Amendment (From _____ To _____)	\$ 425.00
	Zoning Text Amendment	\$ 425.00
	Comprehensive Plan Amendment	\$ 300.00
	Planned Development District	Step 1: Pre-application Conference
		Step 2: Concept Plan Review
		Step 3: General Development Plan Review
X	Preliminary or Final Plat Review	\$ 75.00
	Certified Survey Map or Extraterritorial Plat/CSM Review	\$ 75.00

*NOTE: Administrative filing fees are due at the time an application is filed with the City Clerk's Office and are not refundable. In addition to the Administrative fees, City Staff time (City Engineer, City Planner & City Attorney) will be charged back to the applicant. The Applicant will receive monthly invoices of payments due.

Date: **09/28/2020**

Project/Business Name: **Vespera II Condominium**

Address/Location: **Vico Pass**

City, State, Zip Code: **Oconomowoc, WI 53066**

Proposed Use of Property: **Condominiums**

Applicant: **Belforte, Inc.** Property Owner: **Belforte, Inc.**

Address: **700 Pilgrim Parkway, Suite 100**

City/State/Zip: **Elm Grove, WI 53122**

Phone: **414-333-2059**

E-mail: **ccaliendo@kingswayhomes.com**

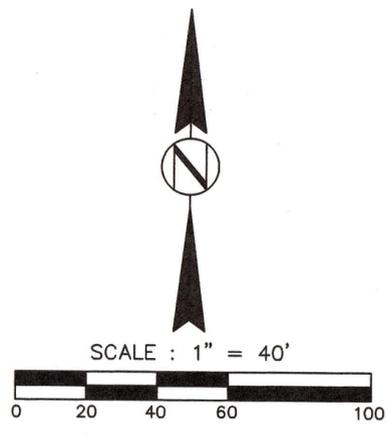
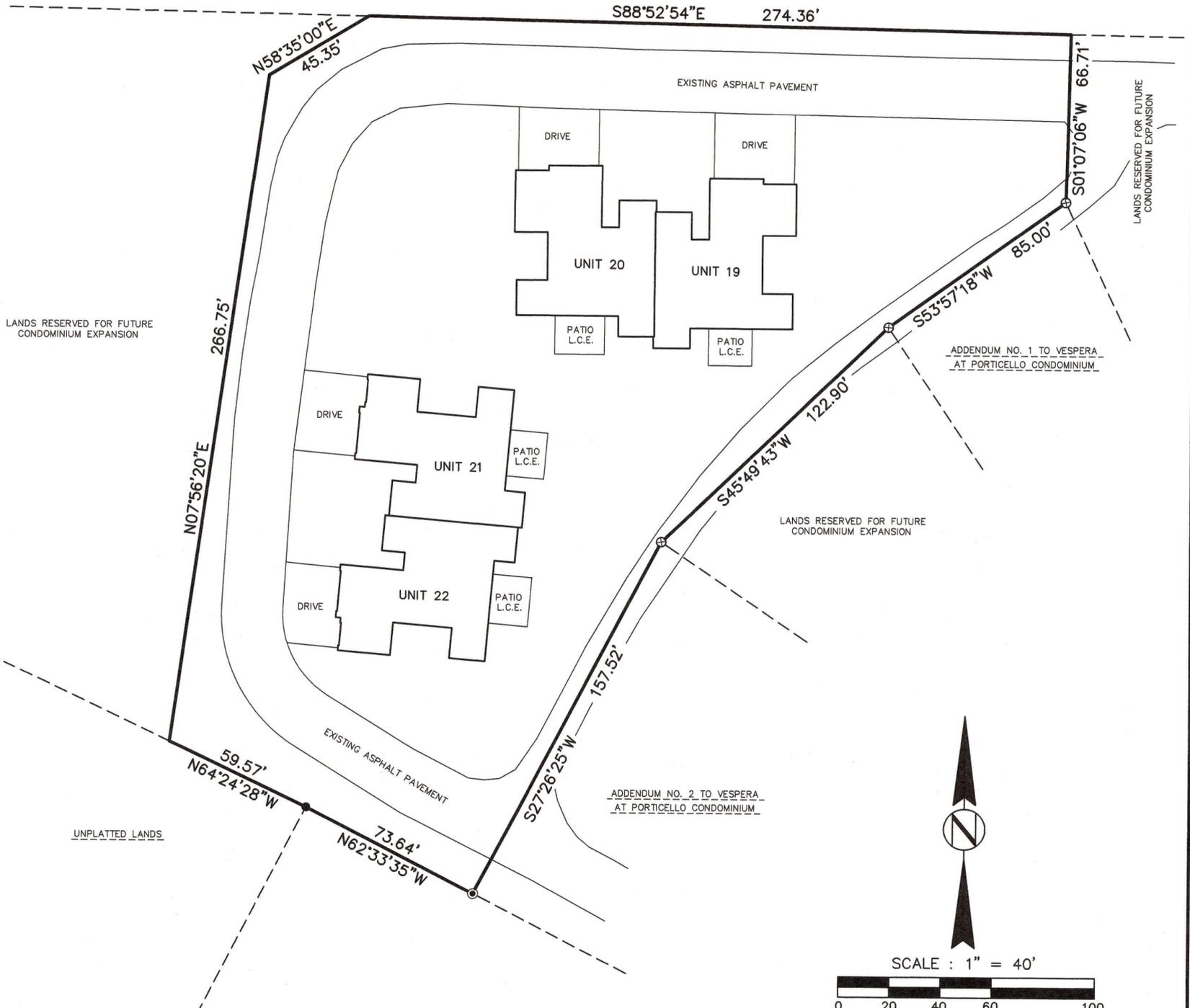
Signature:

This form is not valid unless signed by Owner or Agent under a written power-of-attorney (please provide). I, Owner/one of the Owner's of the property, declare that this application (including any accompanying documents) has been examined by me and to the best of my knowledge and belief is true, correct and complete. I further accept all liability, which may be a result of the City of Oconomowoc relying on this information I am providing in this application.

ADDENDUM NO. 1 TO
VESPERA II CONDOMINIUM

BEING A PART OF LOT 1 OF C.S.M. NO. 7326, LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 9, T.7N., R.17E., CITY OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.

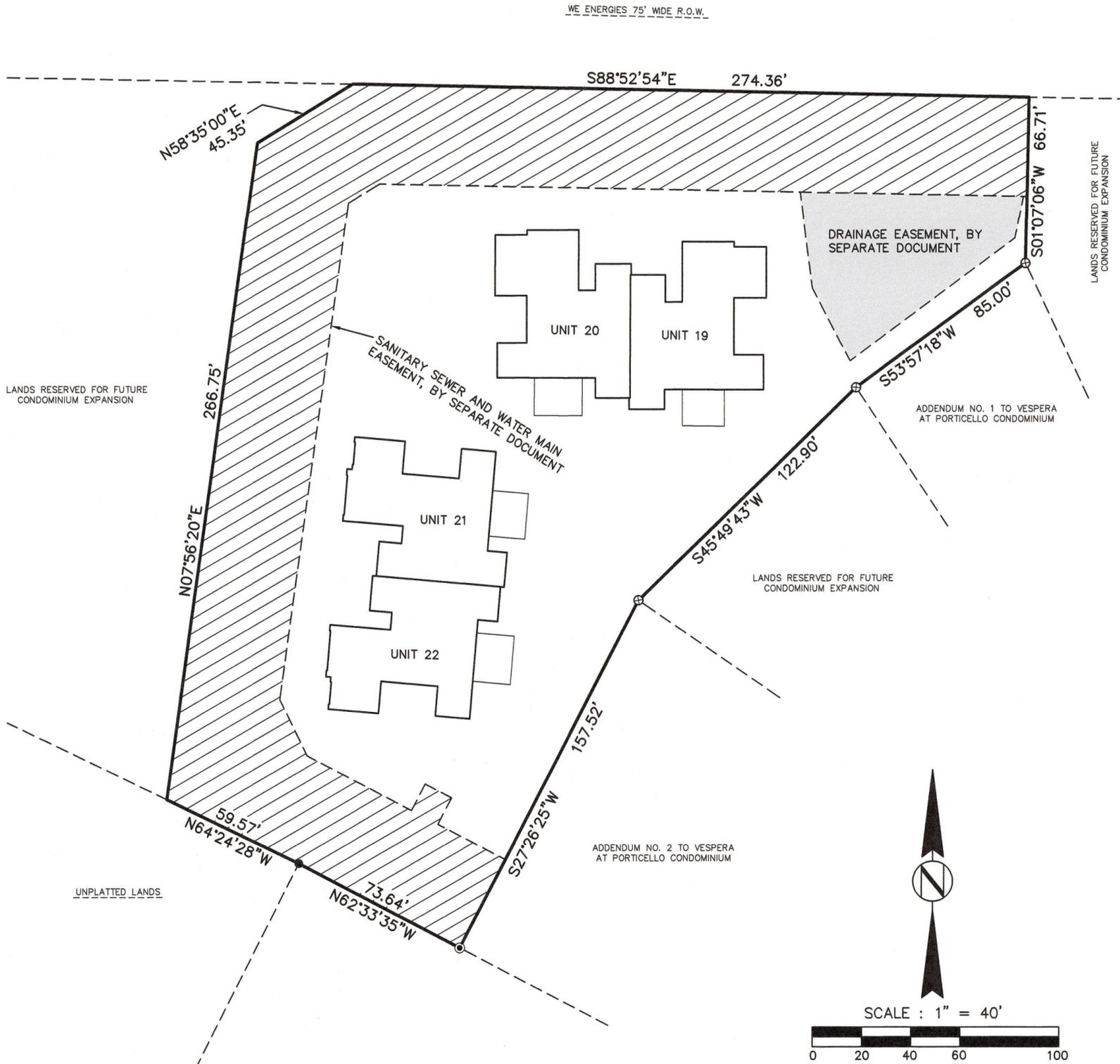
WE ENERGIES 75' WIDE R.O.W.



Mark A. Powers
 September 21, 2020

ADDENDUM NO. 1 TO
VESPERA II CONDOMINIUM

BEING A PART OF LOT 1 OF C.S.M. NO. 7326, LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 9, T.7N., R.17E., CITY OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.



Legal Description of Addendum No. 1 Lands

Being a part of Lot 1 of C.S.M. No. 7326, located in the NW 1/4 of the SE 1/4 of Section 9, T.7N., R.17E., City of Oconomowoc, Waukesha County, Wisconsin, more fully described as follows: Commencing at the NW corner of said Lot 1; thence S88°52'54"E, along the north line of said Lot 1, 197.19 feet to the point of beginning of the hereinafter described lands; thence S88°52'54"E, continuing along said north line, 274.36 feet to a point; thence S01°07'06"W, 66.71 feet to the northernmost corner of Addendum No. 1 to Vespera at Porticello Condominium; thence S53°57'18"W, along the northwesterly line of said addendum, 85.00 feet to the westernmost corner of said addendum; thence S45°49'43"W, 122.90 feet to the northernmost corner of Addendum No. 2 to Vespera at Porticello Condominium; thence S27°26'25"W, along the northwesterly line of said addendum, 157.52 feet to the westernmost corner of said addendum, said point being on the southwesterly line of Lot 1 of said C.S.M. No. 7326; thence N62°33'35"W, along said southwesterly line, 73.64 feet to a point; thence continuing along said southwesterly line N64°24'28"W, 59.57 feet to a point; thence N07°56'20"E, 266.75 feet to a point; thence N58°35'00"E, 45.35 feet to the place of beginning. Said lands containing 72,234 sq. ft. (1.658 acres).



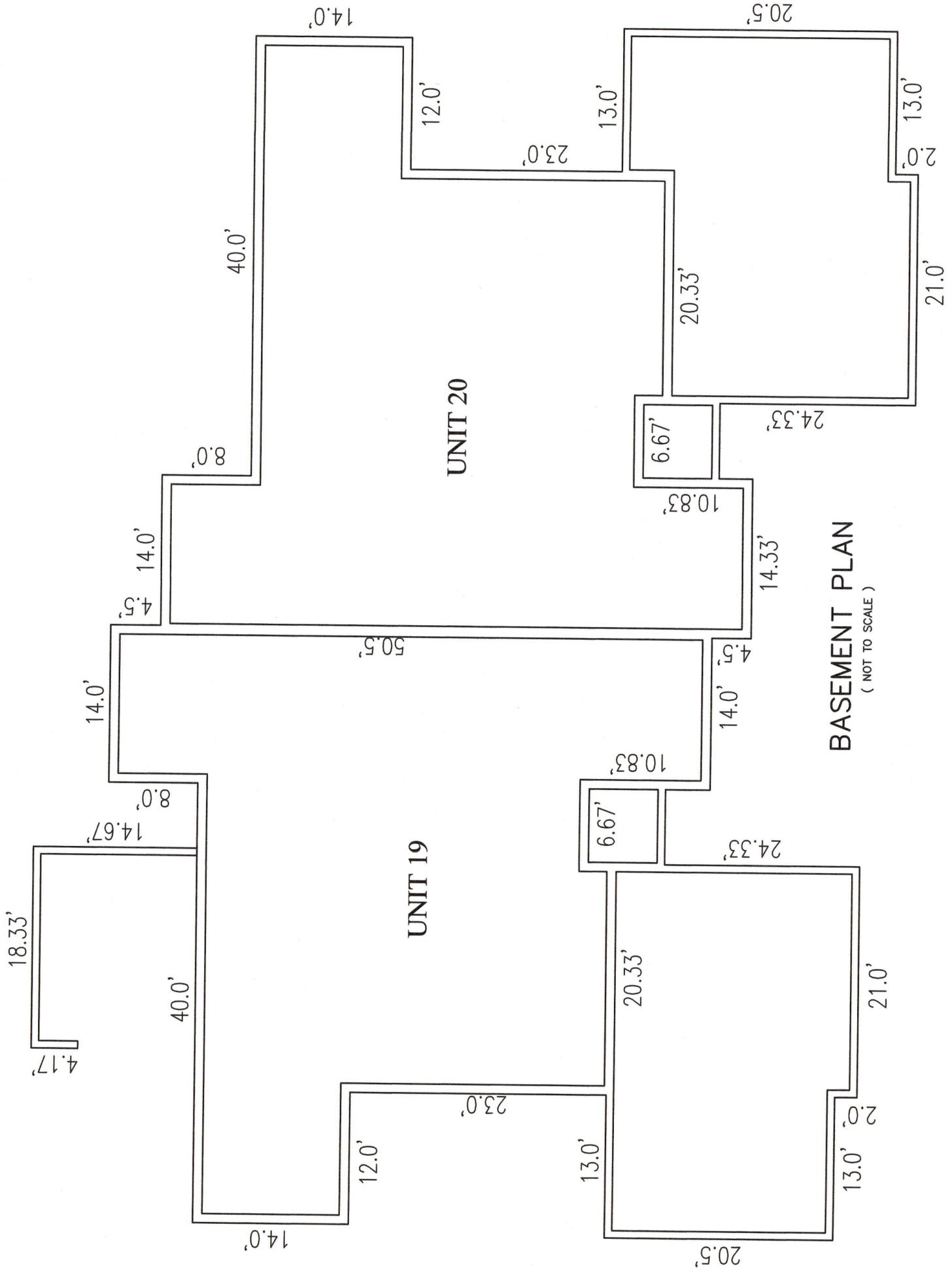
Mark A. Powers
September 21, 2020

CONDOMINIUM PLAT OF
VESPERA II CONDOMINIUM

BEING A PART OF LOTS 1 AND 2 OF C.S.M. NO. 7326, LOCATED IN THE NW 1/4
 AND SW 1/4 OF THE SE 1/4, AND IN THE NE 1/4 OF THE SW 1/4, ALL IN SECTION 9,
 T.7N., R.17E., CITY OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.



September 21, 2020

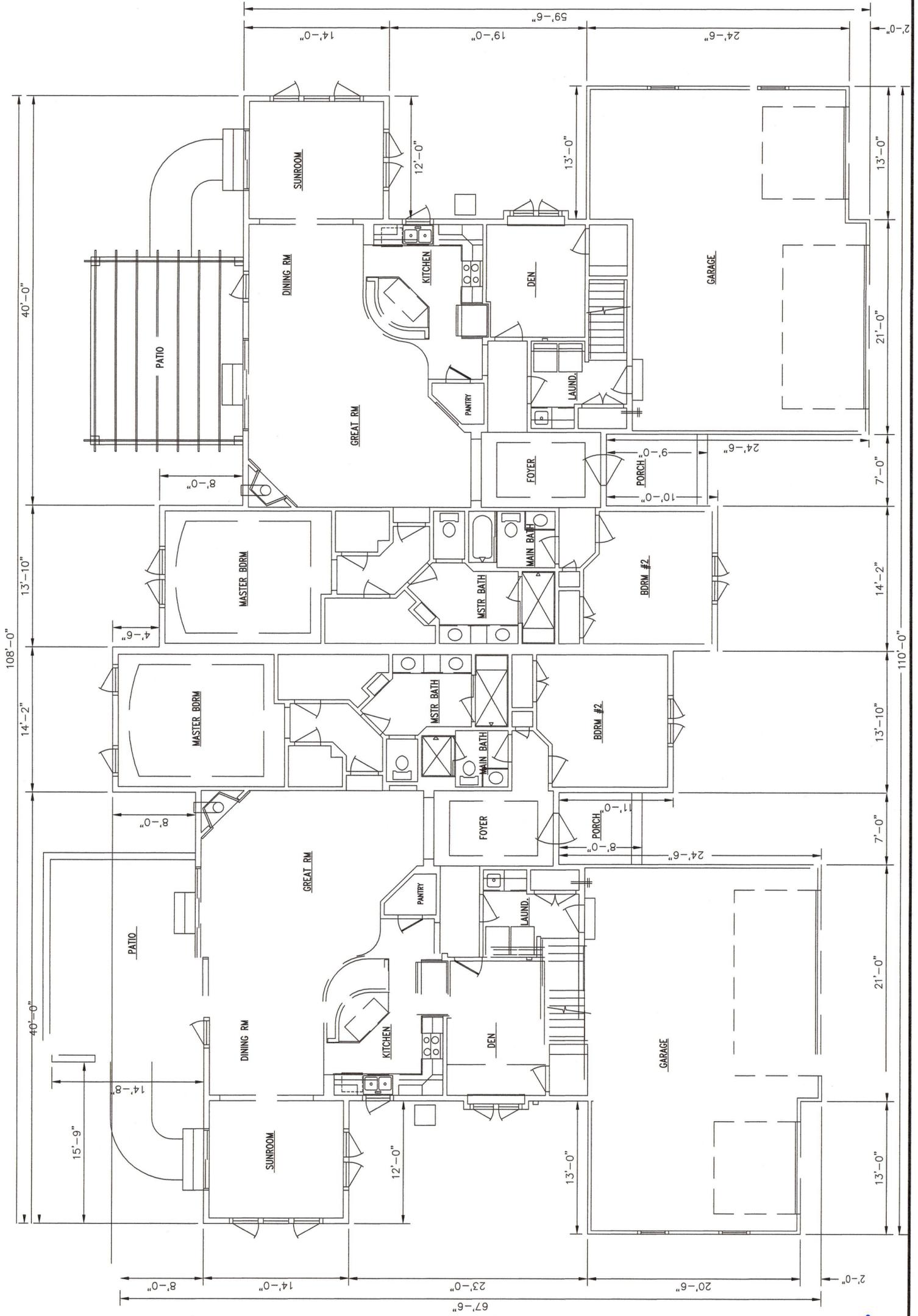


BASEMENT PLAN
 (NOT TO SCALE)

CONDOMINIUM PLAT OF
VESPERA II CONDOMINIUM

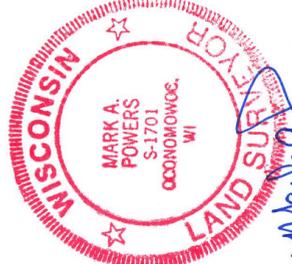
FIRST FLOOR PLAN
 (NOT TO SCALE)

BEING A PART OF LOTS 1 AND 2 OF C.S.M. NO. 7326, LOCATED IN THE NW 1/4
 AND SW 1/4 OF THE SE 1/4, AND IN THE NE 1/4 OF THE SW 1/4, ALL IN SECTION 9,
 T.7N., R.17E., CITY OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.



UNIT 19
 1931 SF

UNIT 20
 1945 SF



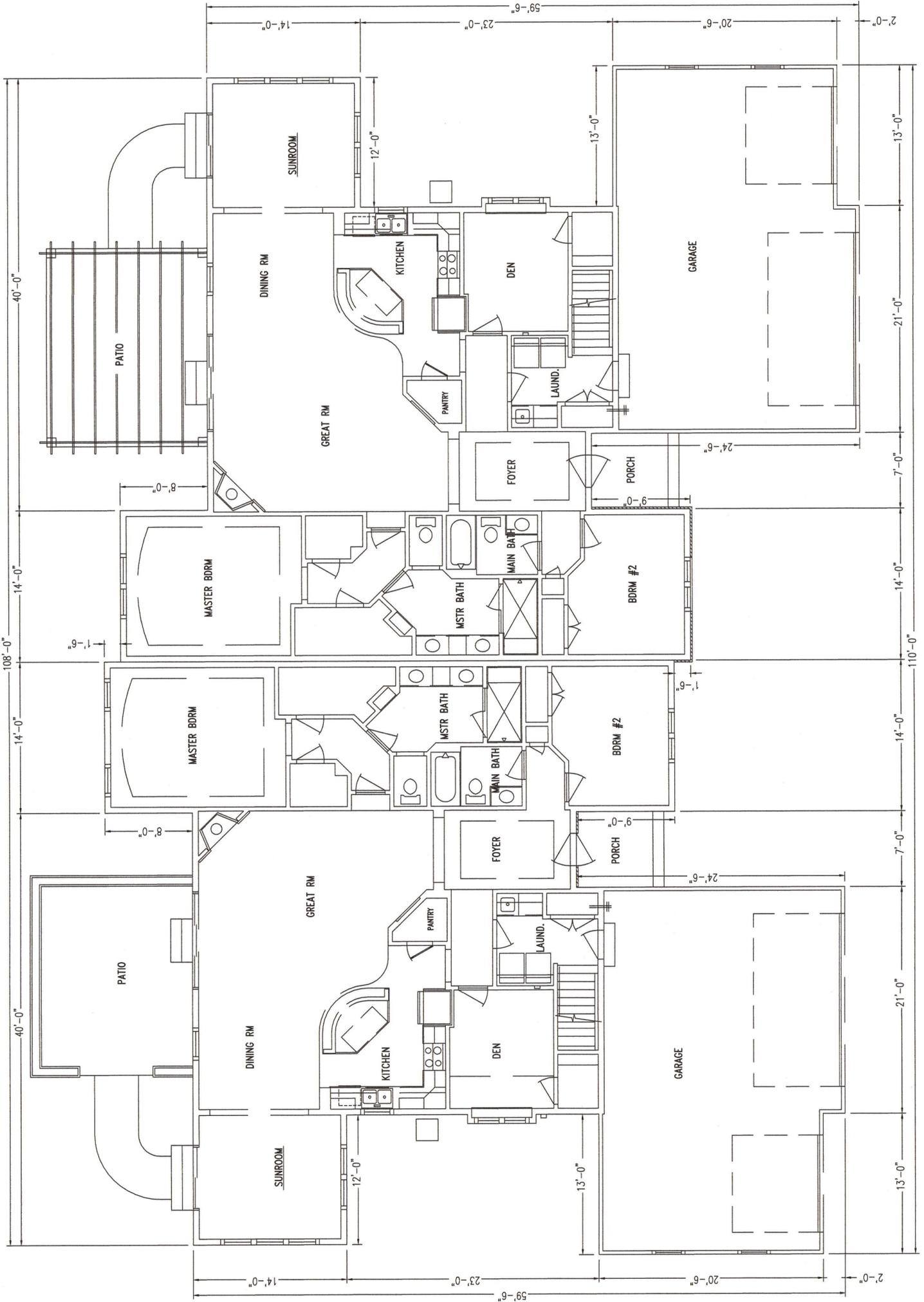
Mark A. Powers
 September 21, 2020

CONDOMINIUM PLAT OF

VESPERA II CONDOMINIUM

FIRST FLOOR PLAN
(NOT TO SCALE)

BEING A PART OF LOTS 1 AND 2 OF C.S.M. NO. 7326, LOCATED IN THE NW 1/4 AND SW 1/4 OF THE SE 1/4, AND IN THE NE 1/4 OF THE SW 1/4, ALL IN SECTION 9, T.7N., R.17E., CITY OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.



UNIT 21
1929 SF

UNIT 22
1929 SF



Mark A. Powers
September 21, 2020

Planning Staff Report

Street Tree Ordinance Amendment

City of Oconomowoc
Plan Commission – 10/14/20

Regarding the Planting of Street Trees in Subdivisions, Subdivision Ordinance

Summary: The City is requesting a Subdivision & Platting Ordinance (Chapter 18) text amendment that would amend the policy and procedure regarding how street trees are installed in newly developed subdivisions.

Property Identification: Text Amendment applies to all new single-family residential subdivisions in the City.

Property Owner: N/A

Applicant: Craig Hoepfner – Director of Parks, Recreation & Forestry
Oconomowoc Community Center
220 W. Wisconsin Avenue
Oconomowoc, WI 53066

Background:

The City has existing regulations in Chapter 18 Subdivision & Platting Ordinance requiring developers to install street trees in newly platted single-family subdivisions. The process includes the developer submitting a street tree planting plan to the City. The City reviews the plan and once comfortable, approves the planting plan. The City reviews the number of trees, size of trees, species of trees, tree spacing, and tree location regarding vision corners, water hydrants, or light poles.

Once approved, the developer is responsible to install the trees. By Ordinance, the Parks, Recreation & Forestry Department representative are supposed to be present to witness the installation to ensure the plantings not only match the plan but are installed correctly. There are many standards regarding how to properly install a street tree in order to give the tree the best chance at long-term survival.

The problem is developers are not contacting the City Staff to witness the plantings. This causes the wrong trees to be installed, not installing in the correct location or not installing correctly. For these reasons, the City would like to take over the installing of the street trees.

Text Amendment Summary:

The amendment will require the subdivision developer to submit a tree planting plan, and have that plan approved. Once approved, the total number of trees will be counted, and a dollar amount assigned based on the total tree count. The City will require the developer to pay the tree fee for the phase of the final plat that is approved. This fee will be included in the Developer's Agreements. The City will then be responsible for planting to ensure the correct plantings go in the correct locations and installed properly.

Planning Thoughts:

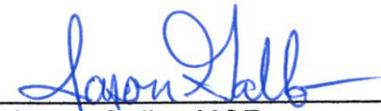
This makes a lot of sense to have the City do the work instead of the developers. The City has seen different approaches by the developers, even passing the responsibility onto the individual homeowner to have a tree planted. Since the City is ultimately taking over ownership of the trees, it makes sense to have us responsible for the install. Staff will either have the trees installed utilizing Park, Recreation & Forestry staff or will contract the work out to local qualified landscapers. Either way, the City will know when and how the trees were planted. The City will have the tree warranty and will be able to place each tree in the GIS tree database for documentation and future maintenance.

Craig Hoepfner has used this system in another community and feels this change brings many benefits for the City. He will be available to discuss the amendment during the upcoming Plan Commission and Common Council meetings.

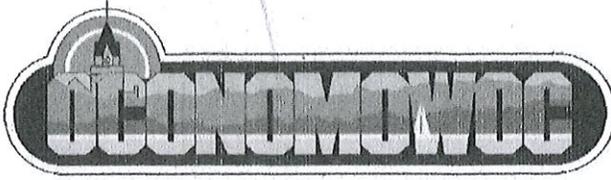
Recommendation:

Plan Commission *recommend approval* of the Subdivision & Platting Ordinance text amendment to repeal and recreate Section 18.08(2m) Street Trees.

Submitted by: _____



Jason Gallo, AICP
City Planner / Zoning Administrator



STAFF RECOMMENDATION FORM

TYPE OF REQUEST: **SUBDIVISION ORD. AMEND**

PROJECT NAME: **STREET TREE ORDINANCE AMENDMENT**

TAX KEY NO.: **18.08(2m)**

PROJECT ADDRESS/LOCATION: **ALL NEW RESIDENTIAL SUBDIVISIONS**

RECOMMENDATION SIGNATURES

CITY PLANNER: *[Signature]* Date: **8/19/20**

Comments:

CITY ENGINEER: *[Signature]* Date: **8-19-2020**

Comments:

DIRECTOR OF PUBLIC WORKS: *[Signature]* Date: **10.06.20**

Comments:

WASTEWATER: *[Signature]* Date: **10-2-2020**

Comments:

WATER: *[Signature]* Date: **9/15/20**

Comments:

ELECTRIC: *[Signature]* Date: **9-15-20**

Comments:

PARKS, RECREATION & FORESTRY: *[Signature]* Date: **9-15-20**

Comments: **BEST ORD. AMENDMENT EVER!**

POLICE CHIEF: *[Signature]* Date: **9-15-20**

Comments:

FIRE: *[Signature]* Date: **9-17-20**

Comments:

DIRECTOR OF FINANCE: *[Signature]* Date: **10/6/2020**

Comments: *[Signature]*

ECONOMIC DEVELOPMENT DIRECTOR: *[Signature]* Date: **9/16/20**

Comments:



MEMORANDUM

PARKS, RECREATION & FORESTRY DEPARTMENT

Date: 9-29-20

To: Plan Commission, Common Council, Mayor Magnus

From: Craig Hoepfner, Director

Re: Text Amendment for Zoning Ordinance 18.08 (2m) – Street Trees

RELATES TO THE STRATEGIC PLAN

IV.B. Plan and Implement Quality of Life Assets and Community Amenities

BACKGROUND

The City Ordinance currently requires Developers to plant street trees as improvements to their subdivision, based on an approved plan by the City. Developers construct streets, water, sewer and electric utilities, sidewalks, curbs, etc. up front before homes are built. Trees are not to be planted until the individual home is built and the terrace lawn is grown in. This can easily happen 4 or more years later, long after the Developer has moved on from the project. More times than not, the hired subcontractor plants trees without our knowledge or inspection and they do not follow our guidelines. We are proposing that Developers pay \$500/tree into a Tree Fund at time of final plat approval and that our staff or a contractor hired by the City plants the trees when appropriate.

ADDITIONAL ANALYSIS

This change would provide the City with substantially better control of the process and substantially better quality of product. Many of the landscapers hired by Developers have demonstrated the following:

- Poor planting practices: too deep, too shallow, do not remove cages, plus poor staking, spacing, topsoil and mulching practices
- Poor species selection: too many of the same species overall, too many of the same species in a row
- Poor sizes: too small or wrong size tree for the terrace space

Proposed New Process:

- Developer would provide the City with \$500.00 per tree at the time of final plat. Funds would be placed in a Tree Fund/Escrow account which could only be used for planting of street trees.
- Annually, our staff would review subdivisions for finished terrace areas available for street trees.
- We would either plant in-house, contract out the trees to be planted or a combination thereof.

The current ordinance reads as follows:

STREET TREES. (Cr. #09-O745)

(a) Plan Required. The developer shall prepare a street tree planting plan and file it with the Parks, Recreation and Forestry Department and the Planning Department for approval. The plan shall set forth the location of the trees, the tree species, and other information required by the Parks, Recreation and Forestry Department "Street Tree Planting Policy." The plan shall consider the utility plans in locating trees. Consideration shall be given to signs, light poles, fire hydrants, driveways, and any other required structure that would dictate where tree planting would be appropriate. The street tree planting plan shall be approved by the City Forester. This street tree planting requirement is not effective retroactively unless the previously approved subdivision plat is revised or upon final plat approval of remaining phases of the development which previously received preliminary plat approval.

(b) Planting Requirements. The developer shall plant balled and burlapped trees in the terrace area between the sidewalk and curb. The developer shall plant trees when building permits have been issued for 50 percent of the lots in the subdivision or the phase of the subdivision currently being developed. Planting shall be according to the approved plan. The developer shall perform the planting on the lots within the 50 percent for which building permits have been issued after driveway locations for individual lots or parcels have been established. The developer shall plant or provide one tree for each 50 feet of frontage on all public streets within the subdivision. All plant materials shall conform to the guidelines set forth by the American Standard for Nursery Stock. The minimum tree size, tree species, spacing requirements, and other planting restrictions shall conform to the City of Oconomowoc "Street Tree Planting Policy" dated February 1, 2009, as amended from time to time, and [Chapter 8A](#) of the Municipal Code. After plan approval and at the developer's option, the developer may plant all required street trees in the locations set forth on the approved plan.

(c) Relocation of Street Trees. If trees are to be relocated due to driveway locations, they shall be removed, relocated or replaced by the property owner at the property owner's expense.

(d) Alternate Planting Location. If due to driveway locations or the location of other public facilities it is impossible to plant the required street trees within the subdivision, those trees not able to be planted within the subdivision terrace areas shall be planted in a public park or appropriate open space nearest to the subdivision. The trees to be planted elsewhere than in the subdivision shall be planted by the City.

(e) Guarantee. The developer shall remain responsible for costs associated with replacing and planting any trees that have died for a period of 2 years after the initial planting. All replacement trees shall be of the equivalent size and species of the trees being replaced.

(f) Security. Performance of this street tree planting program shall be secured by a letter of credit or other acceptable financial guarantee filed with the City. The obligation set forth in this section is a continuing obligation; however, it is acknowledged that lots may remain unimproved for years after final plat approval. If the developer desires to be released of further obligations under this section, the developer and the City may negotiate the obligation for further compliance with this section and the plan. Upon agreement, the developer shall deposit with the City an amount representing the estimated cost of completing the approved planting plan, after which the obligation to complete the plan shall be the obligation of the City.

(g) Declaration of Restrictions. The developer shall include in the declaration of restrictions for the subdivision a provision that requires the lot owners to remove, replace or relocate any tree that requires relocation due to the lot owner's driveway location. The restriction shall require replacement or relocation; and further, that if the lot owner fails to do so, the City may do so and place the cost thereof on the tax roll if not paid, pursuant to the provisions of §66.0627, Wis. Stats.

Please see additional page for new ordinance language, Ordinance 20-O985.

FINANCIAL IMPACT

No additional cost to the City other than staff time to review planting sites and plant trees.

RECOMMENDATION

Staff recommends to repeal and recreate City Ordinance 18.08 (2m).

SUGGESTED MOTION

Move to repeal and recreate City Ordinance 18.08 (2m) of the City of Oconomowoc Municipal Code.



Development Application

Department of City Planning
 174 E. Wisconsin Avenue Oconomowoc, WI
 www.oconomowoc-wi.gov | 262.569.2166

X	Description	Administrative Fee
	Administrative Design Review	\$ 75.00
	Major Design Review	\$ 75.00
	Conditional Use Permit	\$ 500.00
	Zoning Determination Letter	\$ 100.00
	Temporary Use Permit	\$ 75.00
	Temporary Use Permit - Renewal	No Charge
	Variance	\$ 425.00
	Special Exceptions	\$ 425.00
	Appeals of Zoning Administrator	\$ 300.00
	Zoning Map Amendment (From _____ To _____)	\$ 425.00
X	Zoning Text Amendment	\$ 425.00
	Comprehensive Plan Amendment	\$ 300.00
	Planned Development District	Step 1: Pre-application Conference
		Step 2: Concept Plan Review
		Step 3: General Development Plan Review
	Preliminary or Final Plat Review	\$ 75.00
	Certified Survey Map or Extraterritorial Plat/CSM Review	\$ 75.00

*NOTE: Administrative filing fees are due at the time an application is filed with the City Clerk's Office and are not refundable. In addition to the Administrative fees, City Staff time (City Engineer, City Planner & City Attorney) will be charged back to the applicant. The Applicant will receive monthly invoices of payments due.

Date: **SEPTEMBER 11, 2020**

Project/Business Name: **CITY OF OCONOMOWOC - COMMUNITY CENTER**

Address/Location: **220 W. WISCONSIN AVE.**

City, State, Zip Code: **OCONOMOWOC, WI 53066**

Proposed Use of Property: **TEXT AMENDMENT REGARDING SUBDIVISION STREET TREES**

Applicant: CRAIG HOEPPNER	Property Owner:
Address: 220 W. WISCONSIN AVE	Address
City/State/Zip: OCONOMOWOC, WI 53066	City/State/Zip:
Phone: 262-569-2177	Phone:
E-mail: choeppner@oconomowoc-wi.gov	E-mail:
Signature:	Signature:

This form is not valid unless signed by Owner or Agent under a written power-of-attorney (please provide). I, Owner/one of the Owner's of the property, declare that this application (including any accompanying documents) has been examined by me and to the best of my knowledge and belief is true, correct and complete. I further accept all liability, which may be a result of the City of Oconomowoc relying on this information I am providing in this application.

ORDINANCE No. 20-0985

**AN ORDINANCE TO REPEAL AND RECREATE §18.08 (2M)
OF THE CITY OF OCONOMOWOC MUNICIPAL CODE
REGARDING STREET TREES**

The Common Council of the City of Oconomowoc, Waukesha County, Wisconsin, do ordain as follows:

SECTION 1. Section 18.08 (2m) of the City of Oconomowoc Code of Ordinances is hereby repealed and recreated as follows:

(2m) STREET TREES.

(a) Plan Required. The developer shall prepare a street tree planting plan and file it with the Parks, Recreation and Forestry Department and the Planning Department for approval. The street tree planting plan shall be approved by the City Forester.

(b) Planting Requirements. The City policy requires planting three trees for each 100 feet of street centerline on all public streets within the subdivision. The City Forestry Department shall acquire and plant the trees in general conformity with the approved street tree planting plan.

(c) Developer Payment. The developer shall be responsible for the cost of all trees. The Parks, Recreation and Forestry Department shall establish a schedule of tree costs on an annual basis. Prior to the City's execution of the final plat, developer shall pay the City the costs of all trees to be planted in the subdivision.

SECTION 8. EFFECTIVE DATE. This ordinance shall become effective upon passage and publication as required by law.

DATED: _____

CITY OF OCONOMOWOC

By: _____

Robert P. Magnus, Mayor

ATTEST:

Diane Coenen, Clerk

Date Adopted: _____

Date Published: _____

Effective Date: _____

Waueksha County Communication Center

Capital Expense – One-time Brick and Mortar
buy-in

Co-sponsors: Alderman Kowieski
Alderman Rosek



- What is the difference between buy-in and operational transfer?
- Why the buy-in now makes sense?
- How is the buy-in structured and what does that mean to cost?
- What is the impact to the levy?

Title and Content Layout with List

The Difference between capital buy-in and operational transfer

The One-time capital buy-in to Waukesha County Communications does **NOT** obligate the City of Oconomowoc or the City of Oconomowoc Police Department to a timeline for operational transfer now or in the future. The buy-in **DOES** fix the capital expense cost associated with an inevitable transfer to WCC for police department dispatch due to cost or service levels as managed and approved by the Common Council.

Why does it make sense to budget for capital expense buy-in in 2021?

Currently The General Fund balance unreserved is \$4,120,667. Of that the Council has approved \$306,000 for the 2021 Capital Project Plan. There is also an amount, yet to be determined, of cost savings associated with the Public Safety building that can be applied to the buy-in. Even if this amount is minimal it represents a reduction of money that would be spent from levy or general fund balance. This shows capacity for buy-in.

At a minimum the decision to buy-in now would save the taxpayers of the City of Oconomowoc \$10,591 and fixes capital costs for buy-in moving forward.

Structure of buy-in funds

There are 2 options for buy-in 2021:

Option 1: Full one- time payment \$176,524 –

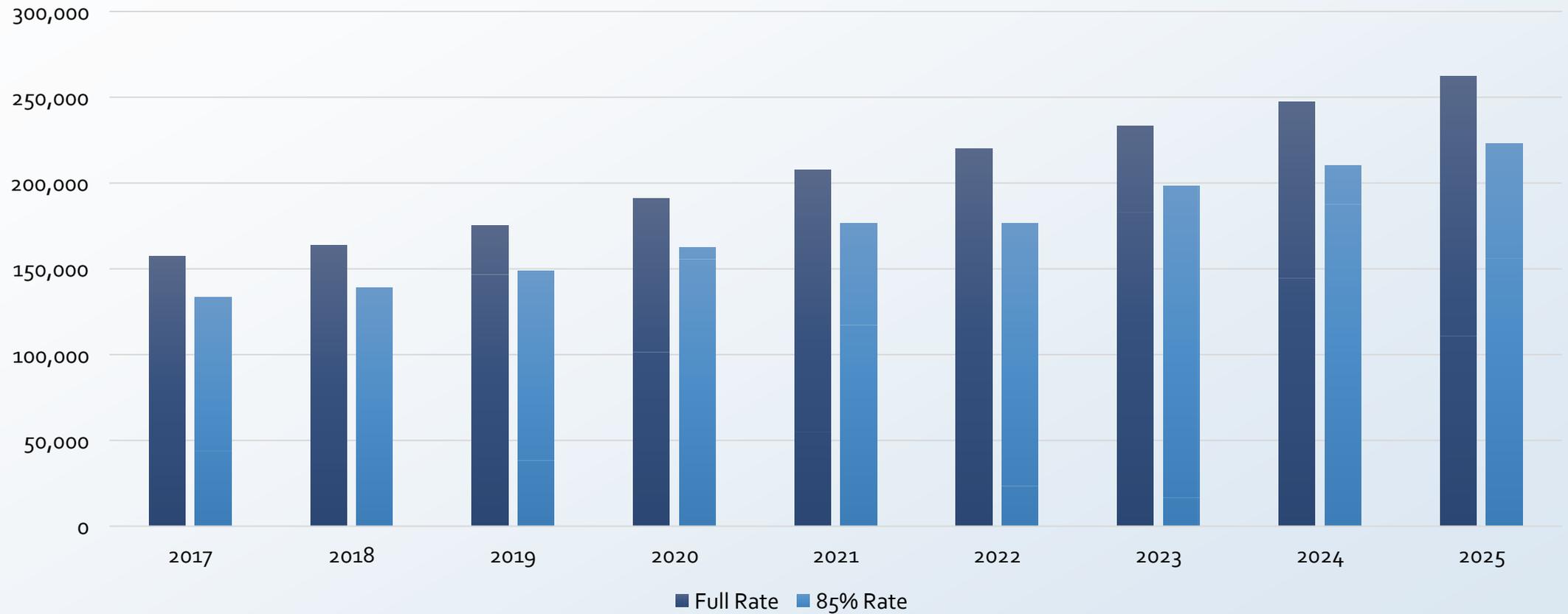
paid for from unreserved general fund balance

Option 2: obtain approval from Waukesha County for split payment (2021/2022). Reserve \$88,262 from the

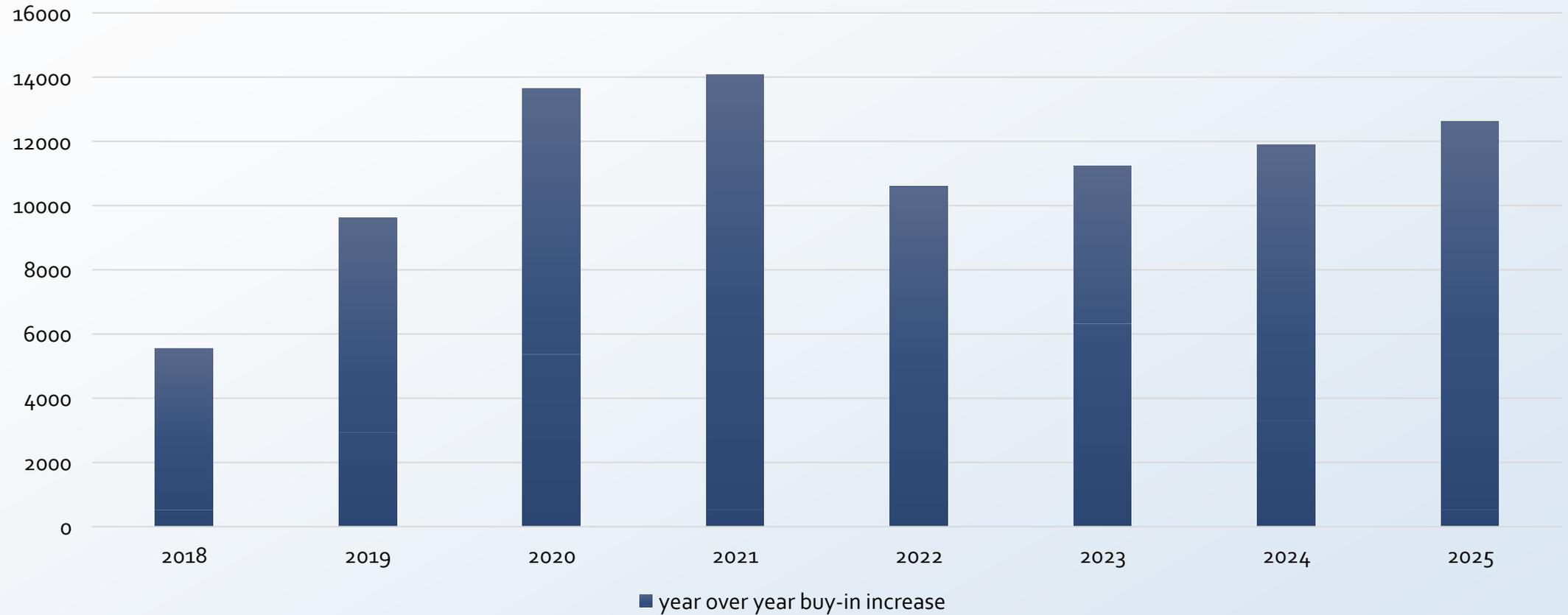
general fund unreserved balance for Council approved disbursement in 2021. Adjust final 2021 payment with reduction from cost savings from public safety facility bonded funds.

Budget through normal levy spend for second payment in 2022.

BOTH Option 1 and OPTION 2 have **NO** impact on 2021 levy tax



Actual buy-in 2017 through 2020 estimated from 2021 through 2025 based on equalized value of the City of Oconomowoc



Actual buy-in 2017 through 2020 estimated from 2021 through 2025 based on equalized value of the City of Oconomowoc



MEMORANDUM

DEPARTMENT

Date: October 14, 2020
 To: City Council, Mayor Magnus
 From: Laurie Sullivan, Finance Director
 Re: Amendments to and Approval of the 2021 Budget and Set the 2020 Tax Levy

RELATES TO THE STRATEGIC PLAN

Strategic Goal-N/A

BACKGROUND

The Council held committee of the Whole meetings on September 22, 2020 to discuss and amend the proposed budget. The following amendments were made:

(\$5,000)	Remove the Implied Bias Training from the Police Budget
\$ 2,500	Increase the overall Police Training budget
\$7,500	Add an Intern position to the Planning Department
\$15,000	Add funds to the 2020 Contingency

Amendments added \$20,000 to the budget. The budgeted Levy amount after COW meetings is \$12,355,038.

ADDITIONAL ANALYSIS

The City has not used its full Levy Capacity. Levy limit laws allow carryover capacity of 1.5% of the prior year levy. The capacity limit for the City for 2021 is \$185,025, currently has \$184,377 of unused Levy Capacity that will be carried over to next year, keeping us within the limit.

FINANCIAL IMPACT

The revised levy and tax rate numbers are as follows: 2020 Proposed Levy = \$12, Mill Rate = \$5.85

City of Oconomowoc 2021 Budget BOTTOM LINE WORKSHEET	Prior Year	COW 09/22/20	
	2020	2021	
	Budget	Budget	
	Bottom Line	Bottom Line	
Proposed 2020 Levy	11,879,343	12,355,038	
Proposed 2020 City Tax Rate	5.73	5.85	
\$ Change from 2019	0.11	0.12	
% Change from 2019	1.93%	2.09%	
Taxes on ave \$245K home	\$1,403.85	\$1,433.25	
Increase from Prior year	\$26.56	\$29.40	
	Mill Rate	Mill Rate	Change
Operating Levy	3.83	3.69	0.14
Capital Levy	1.02	1.17	-0.15
Debt Levy	0.88	0.99	-0.11
Total Levy	5.73	5.85	-0.12

RECOMMENDATION

Recommend approval of Proposed Budget Amendments and Final Approval of the 2020 Budget.

SUGGESTED MOTION

Motion to approve the 2021 City of Oconomowoc budget with recommended amendments as detailed in memo

Motion to set the 2020 Tax Levy at \$12,355,038



MEMORANDUM

MAYOR

Date: October 15, 2020
To: Common Council
From: Robert P. Magnus
Re: Mayoral Appointments to Committees

RELATES TO THE STRATEGIC PLAN

Strategic Goal – N/A

BACKGROUND

I appoint the following individuals and request the Council’s Confirmation:

Plan Commission:	Tim Valley – April 2021
Board of Review:	Bonnie Lewis-Tschannen – April 2024
Joint Review Board:	Carl Wickman – No Term Expiration

ADDITIONAL ANALYSIS

N/A

FINANCIAL IMPACT

N/A

RECOMMENDATION

To confirm the Committee appointments as presented.

SUGGESTED MOTION

Motion to confirm the Committee appointments made by Mayor Magnus.

2020 APPOINTMENTS TO		COMMITTEES / BOARDS / COMMISSIONS	
Architectural Commission - Meets 2nd Wednesday each Month @ 5 PM		Park & Recreation Board - Meets 2nd Monday each Month @ 6:30 PM	
Two Yr Terms - Expires		Three Yr Terms - Expires	
Chair: Kent Johnson	4/30/22	Pres: Joseph Moroni	4/30/21
Jeremy Flint	4/30/22	Scott Antonneau	4/30/21
Kurt Schrang	4/30/21	Katie Miller	4/30/23
Paul Schultz	4/30/22	Ald. Matt Mulder	4/30/21
Anne Krogstad	4/30/21	Dan Gotzler	4/30/23
Board of Review - Meets Annually (Initial Mtg in April)		Plan Commission - Meets 2nd Wednesday each Month at 6:30 PM	
to Set Hearing Date/Time		Three Yr Terms - Expires	
Chair: Richard Schlieve	4/30/25	Chair: Robert P. Magnus	Mayor
Leslie Kleba	4/30/23	John Gross	4/30/23
Mark Gempeler	4/30/21	Dean Frederick	4/30/22
Bonnie Lewis-Tschannen (Proposed)	4/30/2023	Tim Valley (Proposed)	4/30/21
Vacancy	4/30/24	Chad Vande Zande	4/30/23
Alt: Bonnie Goodson	4/30/24	Kenneth Brotheridge	4/30/21
Bureau of Economic Development & Tourism Commission		Ald. Lou Kowieski	
Meets as needed - TBD		Three Yr Terms - Expires	
Chair: Robert P. Magnus	4/21/21		
John Gresley	4/30/23		
Cherie Sonsalla	4/30/23		
Lori Boldig	4/30/22		
Kendel Beardsley	4/30/23		
Hilary DeVries	4/30/21		
Community Development Authority (CDA)		Police and Fire Commission-Meets as Needed @ 5 PM	
Three Yr Terms - Expires		Five Yr Terms - Expires	
Chair: Robert P. Magnus	4/30/21	Chair: Margie Krauski	4/30/22
Joe Kozinski	4/30/22	Mike Barry	4/30/25
Mary Blaska	4/30/23	Mike Miller	4/30/24
David Manke	4/30/22	Don Weimer	4/30/21
Bill Moomey	4/30/23	Jeff Schmidt	4/30/23
Stephen Carlson, Jr.	4/30/22	Ald. Charles Schellpeper	4/30/21
Ald. John Zapfel	4/30/21		
Elderly Housing Authority (EHA) - Created in 2018		Technology Committee - Meets as Needed	
Meets as needed - TBD		Date / Time TBD	
Four Yr Terms - Expires		Two Yr Terms - Expires	
Chair: Robert P. Magnus	4/30/21	Chair: Ald. Spiegelberg	4/30/21
Ald. Karen Spiegelberg	4/30/21	Peter Hoeft	4/30/22
Dick Whalen	4/30/24	Ryan Bennet	4/30/22
Mary Blaska	4/30/21	Jill Persick	4/30/22
Dean Frederick	4/30/22	Ronald Powell	4/30/22
Library Board - Meets 2nd Thursday each Month @6 PM		Ald. Rosek	
Three Yr Terms - Expires		Ald. Rogers	
Chair: Orlin Foat	4/30/23	Zoning Board of Appeals - Meets as Needed	
Jared Chapiewsky	4/30/22	Date / Time TBD	
Patricia (Lisa) Baudoin	4/30/23	Two Yr Terms - Expires	
Hollie Schick	4/30/23	Chair: Ken Brotheridge	4/30/21
Benjamin Nankee	4/30/22	Kyle Driscoll	4/30/21
Ald. Charles Schellpeper	4/30/21	Vacant	4/30/22
Sheila Homberg	School District Appointee 4/2023	Mark Gempeler	4/30/22
Kristin Nelson	Waukesha County Appt 7/1/23	Jake Nicholson	4/30/22
Diane Knutson	Waukesha County Appt 7/1/23	1st Alternate - Bonnie Goodsc	4/30/21
Barbara Elwood-Goetsch	Jefferson County Appointee	2nd Alternate - Bob Morgan	4/30/22
Western Lakes Fire District		Joint Review Board - Meets as Needed	
Three Yr Terms - Expires		Date / Time TBD	
Fire Board Members		No Terms	
Jimi Hall - 4/30/21	Diane Gard - 4/30/22	City Mayor	Robert P. Magnus
Jeff Roemer - 4/30/22	Mike Miller - 4/30/21	City Finance Director	Matt Trebatoski
		City Finance Director	Laurie Sullivan
		City Dir of Economic Dev	Bob Duffy
		City Citizen Member	Carl Wickman (Proposed)
		Waukesha County Member	Andy Thelky
		WCTC Member	Jane Kittle
		OASD Member	Beth Sheridan

**CITY OF OCONOMOWOC INFORMATION PROFILE
FOR PUBLIC SERVICE APPOINTMENT CONSIDERATION**

NAME: Tim Valley HOME/CELL PHONE: [REDACTED] DATE: 10/15/2000
 ADDRESS: 886 Wood Dr BUSINESS PHONE: [REDACTED]
 CITY / STATE / ZIP: Oconomowoc, WI 53066
 RESIDENCY: Years in City: 23 years Years in Waukesha County: 23 years

Please mark your **TOP THREE CHOICES. RANK BY PREFERENCE 1...2...3**

- QUALIFICATIONS**
- _____ Architectural Commission..... Should be an established builder, building contractor, registered professional engineer practicing in building or building design or a state licensed architect
(Meets 2nd Wednesday of the Month @ 5:00 PM)
 - _____ Board of Review..... Should be a City resident (cannot hold a public office or be publicly employed), available for meetings Monday-Friday, 8 am to 5 pm & must take a training session
(Meets annually - Spring & Summer - Day/Times vary)
 - _____ Bureau of Economic Development & Tourism Commission..... Should be either the Executive Director or on Bd of Directors from the Chamber of Commerce (City resident or have City related interests), from the motel/hotel industry, or City's retail or food & beverage industry
(Meets as needed - Day/Times Vary)
 - _____ Community Development Authority..... Should be a City resident with abilities & experiences in the fields of urban renewal, community development & housing
(Meets as needed - Day/Times Vary)
 - _____ Elderly Housing Authority..... Should be a City resident with experience in elderly housing needs
(Meets as needed - Day/Times Vary)
 - _____ Library Board..... Should be a City resident, except 2 members may be from towns adjacent to the City
(Meets 2nd Thursday of the Month @ 6:00 PM)
 - _____ Parks & Recreation Board..... Should be a City resident. The Board oversees City Parks & Recreation programs and sets policy for City Parks.
(Meets 2nd Monday of the Month @ 6:30 PM)
 - 1 _____ Plan Commission..... Should be a City resident, with recognized experience and qualifications. No more than 2 members shall be from the same aldermanic voting district
(Meets 2nd Wednesday of the Month @ 6:30 PM)
 - _____ Police & Fire Commission..... Should be a City resident & maintain residency during their term. You may need to provide your political party as not more than 3 members may be from the same party
(Meets as needed - Day/Times vary)
 - _____ Technology Committee..... Should be a City resident, with recognized experience and qualifications in the healthcare, technology or IT/cellular industries
(Meets as needed - Day/Times vary)
 - _____ Zoning Board of Appeals..... The Board hears requests of residents wanting a variance on their property, and takes action based on direction given by the City Planner from the Zoning Code.
(Meets as needed - Day/Times vary)

(Continued on back)

Please indicate your reason for applying for this position, any education or experience that would be relevant to the specific committee(s) you have requested and any other pertinent information that you feel would be helpful in selecting you for a position or submit a resume.

would like to serve the community by providing a review of policies that work toward maintaining a strong Oconomowoc community.

Blank lines for additional information.

If you have any questions or would like more information on a particular committee and the responsibilities of volunteer service, please feel free to stop in City Hall or call the City Clerk at (262) 569-2175.

Return to: Office of the City Clerk
174 E. Wisconsin Avenue, Oconomowoc, WI 53066
or Email: dcoenen@oconomowoc-wi.gov

Education

Ph.D. Cardinal Stritch University
2014 Educational Leadership Milwaukee, WI

Dissertation: The formation of an adult education leader: A study focused on understanding the experiences that contribute to the growth and development of this university leader

M.S. Iowa State University
1992 Higher Education Administration Ames, IA

Thesis: Small college chief student affairs officers' attitude toward chief student affairs preparation programs

B.S. University of Wisconsin - Stevens Point
1989 Political Science Stevens Point, WI

Current Professional Experiences and Areas Supervised

2013-Present Vice President of Enrollment Management and Student Services
Milwaukee School of Engineering
Milwaukee, WI

Responsibilities include:

Member of President's Cabinet

Admissions Department

- Traditional Admissions
- International Admissions
- Transfer Admissions
- Undergraduate; Adult Student Admissions
- Summer Camp Program

Digital Marketing Department

- University web site
- Several social platforms

Department of Science Technology Engineering and Math (STEM)

- The Wisconsin Affiliate College for Project Lead the Way
- Pre-college programming

English as a Second Language Department (ESL)

Raider Center for Academic Success

- TRIO Programs
- Welcome Week programming
- Early alert program

Student Life Department

- Title IX responsibility and compliance, as well as campus conduct
- Student Activities and Special Programs
- Quarterly graduation ceremony

Student Counseling Services

Professional Experiences and Responsibilities

2006- 2013 Vice President of Enrollment Management

Milwaukee School of Engineering
Milwaukee, WI

Responsibilities included:

Member of President's Cabinet

Admissions Department

- Traditional Admissions
- International Admissions
- Transfer Admissions
- Undergraduate; Adult Student Admissions

Digital Marketing Department

- University web site
- Several social platforms

2004-2006 Director of the Business Excellence Consortium (BEC)

- The BEC was an outreach arm of the university to provide professional development and consulting to outside organizations.

Milwaukee School of Engineering
Milwaukee, WI

Responsibilities included:

Marketing and Sales

- Developed and implemented an outreach strategy to increase membership and sell seats of training
- Hired, trained and supervised a sales force to develop relationships and a data base to sell products and services

Curriculum design

- Developed a market-based feedback loop to determine product need and design
- Work with providers to develop training needs and leveling
- Determine pricing and modular breakdowns to meet the desired training needs of the organizations

Day-to-Day operations

- Oversaw the day-to-day supervision and staff development
- Creatively problem solved and developed new approaches to meeting customer needs

Contracting

- Worked to minimize organizational risk while increasing organizational reach
- Implemented a business approach to help create win-win relationships

Professional Experiences and Responsibilities

1997-2004	Dean of Enrollment Management	Milwaukee School of Engineering Milwaukee, WI
<i>Responsibilities included:</i>		
Admissions Department		
<ul style="list-style-type: none">• Traditional Admissions• International Admissions• Transfer Admissions		
Continuing Education Department		
<ul style="list-style-type: none">• Undergraduate; Adult Student Admissions• Graduate Admissions		
Financial Aid Department		
1995-1997	Director of Enrollment Services	St. John's Northwestern Military Academy, Delafield, WI
<ul style="list-style-type: none">• Member of the President's cabinet• Developed and implemented a marketing plan for the recruitment of cadets and for summer program activities• Developed and headed the student retention committee• Met with prospective cadets and their families throughout the enrollment process		
1993-1995	Sales Agent	Northwestern Mutual Financial Services, Madison, WI
<ul style="list-style-type: none">• Recipient of Bronze Medal		
1992-1995	Assistant Director of Admissions	St. John's Military Academy Delafield, WI
<ul style="list-style-type: none">• Recruited students in grades 7 through 12 through extensive telemarketing• Received prospective students and their families, served as a resource person and academy representative• Assessed student qualifications for enrollment through interview and testing process• Coordinated all student registration activities		
1998-Present	Consultant	Enrollment Services/Strategic Planning Nationally
<ul style="list-style-type: none">• Assess an organizations unique selling points and market compatibility• Provide an overall review of the admission's communication plan for prospective students• Facilitate the strategic planning process with the board and the executive team of the organization• Guide the internal associates to operationalize the strategic objectives		

Professional Accomplishments

1997-Present Professional Accomplishments:

Enrollment

Developed and implemented a student centered, campus wide, enrollment process that serves the entire university community as well as meeting the desired enrollment goals of the university: student quality, student quantity and revenue

Traditional

- An Enrollment increase from 1,600 Fulltime students to 2,400 Fulltime students
- Established a successful telemarketing approach
- Effectively engaged a consulting organization to review student quality, student quantity and to maximize net revenue per student
- Increased the number of under-represented students enrolled in the university
- Increased institutional revenue of 50%
- Increased the profile of incoming students measured by standardized test scores and High School grade point averages
- Achieved a double digit percentage increase in overall institutional retention measured by (year one to year two enrollment)
- Achieved a double digit percentage increase in 4 year and 6 year graduation rate

International

- Developed and implemented a strategy to increase the number of international students by 50% by developing relationships to support enrollment growth
- Developed an English as a Second Language program to better compete for international students
- Established an evaluation process to ensure the success of international students on campus

Transfer

- Increased the number of transfer students through the implementation of state wide transfer agreements with the Wisconsin Technical College System
- Increased student quality to ensure student success
- Have established an electronic transfer evaluation process through a team project approach which involved individuals from key areas of the university

Digital Marketing Department

- Led the development and implementation of “Bridge” a social platform to better meet prospective students in their preferred space.
- Developed and supervise the “Digital Marketing Department” by establishing and repurposing current personnel in an area of interest
- Increased the university’s social media presence through the development of a new web site and customized social platform
- Developed a quick-responding information-generating team that provides consistent relevant information helping to establish the university’s brand

Professional Accomplishments

The STEM Department (Science, Technology, Engineering and Math)

- Created the department of STEM
- Working to position the university as the hub of STEM initiatives in the state of Wisconsin
- Combined pre-college programs and Project Lead the Way resources to clarify the university position on STEM and to create a single point of contact

English as a Second Language (ESL) Department

- Determined need for ESL programming and sought out another local college to create a joint ESL program on our campus.
- After two years of joint work our interest in the ESL program grew disproportionate to the other partner so started our own program
- Hired and continue to work with the ESL Director who has worked to develop a campus wide approach toward ESL
- ESL student enrollment has grown to 100 plus students resulting in a gross revenue of \$1,000,000.00 revenue and a net of \$500,000.00
- International students are well prepared to enroll at the university upon completion

Student Life Department

- Helped to create a student led approach to student life
- Realigned university resources by decreasing the department budget but better using resources to meet the needs of the student body
- Decreased professional staffing to better align human resources with the goals of the university
- Implemented an approach to Title IX that connects the university executive team with the Title IX steering committee which is responsible for training and implementation
- Responsible for maintaining the student code of conduct and for the enforcement of student sanctions and follow through

Raider Center for Academic Success

- Helped create a student centered culture within the staff working in academic support services
- Created a single point of contact for faculty and staff for students they deem to be at risk
- Reallocated human resources to better meet the needs of the student body
- Created the university testing center to support students and the academic community with students' test taking needs
- Supported the creation of on-line support services for students
- Helped create walk in tutoring and to make it easy for students to access a tutor
- Have the best three years of retention in the history of the university

Professional leadership theory and approach

My definition of leadership: Influencing others toward a common goal for the greater good.

My leadership theory and approach has been developing over time through study, coaching mentoring and experimentation. While it continues to evolve it has taken shape and has helped create a culture of growth, continuous improvement and on-going opportunity exploration and realization.

- Values: My foundation for leading flows through the following set of values: Everyone counts, listen to understand, help others align, from chaos will come something better, everyone wants to do the right thing, love not judge, a point on the journey, respect, trust, everyone is searching for relevance, cultivate an entrepreneurial mindset, data tells a story and people drive an organization.
- My role as a leader: establish direction, align people and resources, motivate inspire and produce change, often to a dramatic degree.
- Developing individual capacity: comes from creating intentional time and space to help develop people by meeting them where they are at and helping to move them toward a desired state: Experience, critical reflection, reflective discourse and action.
- Developing organizational capacity: comes from creating intentional time for the development of a plan to move the organization forward. By then establishing a way of doing business and implementing a communication plan it is possible to foster an environment of accomplishment and a desired state: system thinking, personal mastery, team learning, shared vision and continuously changing mental maps.
- This is all done through a service oriented approach by intentionally meeting the needs of others by serving in the capacity necessary to help every individual move closer to being whole; capable of fully influencing their own destiny.

This theory and approach are important to handle today's changing climate in higher education because high education is in the middle of monumental change. Higher education needs to adapt an on-going environment of change embedded in an entrepreneurial mindset and combined with a market driven, academy guided focus on learning to meet the demands of today's customers and to stay relevant as an organization.

Professional Development

- | | | |
|--|---------------------------|-------------|
| - Title IX training | Coordinator certification | Fall 2014 |
| - Conflict Resolution | Course | Summer 2014 |
| - Six Sigma training | Yellow Belt certification | Spring 2004 |
| - Lean training | Lean Lead certification | 2004 |
| - Personal coach | Leadership development | 2002-2004 |
| - Counseling and Facilitation training | | Fall 1989 |

Volunteer and Service Activities

- | | |
|--|-----------------|
| - Director of Lakeview Foundation | 2015 to Present |
| - Oconomowoc Booster club | 2010 - 2014 |
| - "Athletic Fields Forever" community fundraising campaign committee Member | 2013 - 2014 |
| • Part of a team that raised \$1,000,000.00 for a new athletic facility | |
| • Involved in both strategy development and execution which consisted of asking community members for their contributions. | |

Personal Interests

- Married with five children
- Avid reader
- Sports fan
- Have an interest in the philosophy of Servant Leadership
- Have an interest in metropolitan communities
- Have an interest in continuous improvement

**CITY OF OCONOMOWOC INFORMATION PROFILE
FOR PUBLIC SERVICE APPOINTMENT CONSIDERATION**

NAME: Bonnie Lewis-Tschannen HOME/CELL PHONE: [REDACTED] DATE: 10-14-20
 ADDRESS: 621 N. Oakwood Ave BUSINESS PHONE: [REDACTED]
 CITY / STATE / ZIP: OCONOMOWOC, WI 53106 E-MAIL ADDRESS: [REDACTED]
 RESIDENCY: Years in City: 15 Years in Waukesha County: 41

Please mark your **TOP THREE CHOICES. RANK BY PREFERENCE 1...2...3**

QUALIFICATIONS

- Architectural Commission..... Should be an established builder, building contractor, registered professional engineer (Meets 2nd Wednesday of the Month @ 5:00 PM) practicing in building or building design or a state licensed architect
- Y Board of Review..... Should be a City resident (cannot hold a public office or be publicly employed), (Meets annually - Spring & Summer - Day/Times vary) available for meetings Monday-Friday, 8 am to 5 pm & must take a training session
- Bureau of Economic Development..... Should be either the Executive Director or on Bd of Directors from the Chamber of Commerce (City resident or have City related interests), from the motel/hotel industry, & Tourism Commission or City's retail or food & beverage industry (Meets as needed - Day/Times Vary)
- Community Development Authority..... Should be a City resident with abilities & experiences in the fields of urban renewal, community development & housing (Meets as needed - Day/Times Vary)
- Elderly Housing Authority..... Should be a City resident with experience in elderly housing needs (Meets as needed - Day/Times Vary)
- Library Board..... Should be a City resident, except 2 members may be from towns adjacent to the City (Meets 2nd Thursday of the Month @ 6:00 PM)
- Parks & Recreation Board..... Should be a City resident. The Board oversees City Parks & Recreation programs (Meets 2nd Monday of the Month @ 6:30 PM) and sets policy for City Parks.
- Plan Commission..... Should be a City resident, with recognized experience and qualifications. No more (Meets 2nd Wednesday of the Month @ 6:30 PM) than 2 members shall be from the same aldermanic voting district
- Police & Fire Commission..... Should be a City resident & maintain residency during their term. You may need to (Meets as needed - Day/Times vary) provide your political party as not more than 3 members may be from the same party
- Technology Committee..... Should be a City resident, with recognized experience and qualifications in the (Meets as needed - Day/Times vary) healthcare, technology or IT/cellular industries
- Zoning Board of Appeals..... The Board hears requests of residents wanting a variance on their property, (Meets as needed - Day/Times vary) and takes action based on direction given by the City Planner from the Zoning Code.

(Continued on back)

Please indicate your reason for applying for this position, any education or experience that would be relevant to the specific committee(s) you have requested and any other pertinent information that you feel would be helpful in selecting you for a position or submit a resume.

Over the last 21 years, I have worked in nearly every aspect of real estate from appraisal, to property management to development to research to sales. In 2010 I started Compass Point Consulting with the main focus to provide high-level real estate research to aid commercial appraisers. I have been a Realtor at Stapleton Realty since December 2011 and I am currently studying to become a Wisconsin Real Estate Broker. I received my Bachelor of Science Degree in Communications from Carroll College (University). I am an active member of the Oconomowoc Rotary Club and the Co-Chair of the Light Up the Lake Boat Parade Committee.

I feel that my extensive real estate experience will be an asset to the Board of Review.

If you have any questions or would like more information on a particular committee and the responsibilities of volunteer service, please feel free to stop in City Hall or call the City Clerk at (262) 569-2175.

Return to: Office of the City Clerk
174 E. Wisconsin Avenue, Oconomowoc, WI 53066
or Email: dcoenen@oconomowoc-wi.gov

CITY OF OCONOMOWOC
INFORMATION PROFILE FOR PUBLIC SERVICE APPOINTMENT CONSIDERATION

NAME: Carl R. Wickman HOME PHONE: [REDACTED]
ADDRESS: 1189 Apple Grove Lane BUSINESS PHONE: [REDACTED]
CITY / STATE / ZIP: Oconomowoc, WI 53066
E-MAIL ADDRESS: [REDACTED]
RESIDENCY: Years in City: 14 Years in Waukesha County: 14

Please mark your **TOP THREE CHOICES. RANK BY PREFERENCE 1...2...3.**

- | | |
|---|---|
| <u>2</u> Architectural Commission
(Meets 2nd Wednesday of the Month @ 5:30 PM) | <u> </u> Parks & Recreation Board
(Meets 2nd Monday of the Month @ 6:30 PM) |
| <u> </u> Board of Review
(Meets annually - May/June - Times vary) | <u>1</u> Plan Commission
(Meets 2nd Wednesday of the Month @ 6:30 PM) |
| <u> </u> Bureau of Economic Development &
Tourism Commission | <u> </u> Police & Fire Commission
(Meets when needed - Day Varies @ 7:00 PM) |
| <u>3</u> Community Development Authority
(Meets 4th Thursday of the Month @ 7:00 PM) | <u> </u> Zoning Board of Appeals
(Meets 1st Wednesday of the Month - Time can vary) |
| <u> </u> Library Board
(Meets 2nd Thursday of the Month @ 7:00 PM) | |

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Please indicate your reason for applying for this position, **any education or experience that would be relevant to the specific committee(s) you have requested** and any other pertinent information that you feel would be helpful in selecting you for a position or submit a resume.

I am the Senior Preconstruction Manager for JH Findorff in the Milwaukee office. Part of my job involves the preparation and presentation of application materials during the permitting process, therefore I understand the duties and roles that each of those committees plays.

I was fortunate enough to work with these committees during the permitting process for both the OASD referendum projects in 2008 and the new Community Center. I found the people I worked with during those periods to be dedicated and professional and I would consider myself fortunate to be working with them.

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