

**City of Oconomowoc  
ARCHITECTURAL COMMISSION MEETING**

**Wednesday, May 13, 2019 @ 5:30 PM**

**@ City Hall, Council Chambers**

(or immediately following the Pabst Farms Joint Stormwater District Meeting)

**NOTICE:** If a person with a disability requires the meeting be accessible or materials at the meeting be in an accessible format, call Diane Coenen, City Clerk, at least 48 hours prior to the meeting at 262-569-2186, or TDD at 262-569-3272 to request adequate accommodations.

**AGENDA:**

1. Roll Call and Confirmation of appropriate meeting notification.
2. Approve Minutes of March 11, 2020.
3. **Pabst Farms Apartments** – Consider/approve building plans to be located on the north side of Valley Road directly across from Gold Medal Drive.
4. Reports and comments from the City Planning Department.
5. Reports and comments from the Architectural Commissioners.
6. Adjourn.



\_\_\_\_\_  
Diane Coenen, City Clerk

Members of other City governmental bodies (boards, commission, committees, council, etc.) may attend the above noticed meeting of the Architectural Commission in order to gather information. The only action to be taken at the above noticed meeting will be action by the Architectural Commission. Architectural Commissioners should notify the City Clerk's Office at 262-569-3236 if they are unable to attend.

**City of Oconomowoc**  
**Architectural Commission Meeting Minutes**  
**March 11, 2020**

Chairman Johnson called the meeting to order at 5:00 pm.

**Members Present:** Kent Johnson, Jeremy Flint, Anne Krogstad, Paul Schultz and Kurt Schrang  
**Staff Present:** Jason Gallo, Kristi Weber, Ald. Charlie Shaw and Chris Dehnert

**2. Approve the January 8, 2020 Minutes:** Motion by Schrang to approve the January 8, 2020 minutes; second by Flint. Motion carried 4-0-1 (Schultz abstained).

**3. 110 - 114 W. Wisconsin Avenue – Consider/approve a Master Sign Plan at 110 - 114 W. Wisconsin Avenue:** This request is for approval of a master sign plan on a multi-tenant building with 3 tenants on the 1<sup>st</sup> floor and residential on the 2<sup>nd</sup> floor. Two tenants are located on the front elevation and 1 tenant at the back of the building. Weber gave background on the building's façade update and referred to the July 2019 meeting minutes which reflect paint color choices for the building which was primed but not painted. The building owner, Mark Justmann, said the 1<sup>st</sup> floor is being painted this week, the west elevation is unchanged and the second floor is unpainted. The 2 tenants on the front elevation currently have window signage. The sign plan includes projecting signs in front of the businesses on the front elevation, (3) stacked wall signs on the west elevation and a wall sign on the east elevation for the rear tenant. Staff is okay with the sign on the east elevation but questioned the size and excessive number of signs on the building. Weber added the master sign plan includes that the owner will solidify the lighting style and staff recommends gooseneck. Weber recommended approval but with conditions as listed in the background. Building owner Mark Justmann handed out a copy of a drawing of the west elevation which he says is similar to the Mann building. He is still trying to find a contractor to do the work and doesn't want to paint the building until he has found someone to complete the project. The applicant, Jon Klug, owns the business at the rear of the building and would like to have his sign located on the east elevation so that people can find him. He was not aware of the owner's plan to redo the west elevation so he suggested holding off on the proposed wall sign on that side of the building. His sign would be located on the east elevation, be 12" x 30" and lit with a gooseneck. Members questioned the projecting signs being located above the existing awnings (cannot be under the awning due to height restrictions); said signage on the west elevation is redundant and would limit the work that could be done on that elevation; gooseneck lighting does not work in this application but a vertical spotlight may be best; no issue with colors or different fonts; and agreed there is no need to hold up approval of the sign on the east elevation. Gallo said the issue is on recommending approval of the master sign plan but holding off approval of the projecting signs. Commissioner Schultz explained the new plan for the west elevation. Gallo questioned the 40"x40" wall sign, and Weber suggested having a placeholder for the projecting signs. Motion by Nelezen to approve the Master Sign Plan at 110-114 W. Wisconsin Avenue with the proposed 12" x 30" wall sign on the east elevation; not including the proposed sign on the west elevation; approval of future projecting signs on the front elevation; approving the proposed drawing of the finished west elevation; and no gooseneck lighting for the front elevation but any exterior light is acceptable; second by Flint. Motion carried 5-0.

**4. Bubble's Foam Farm (previously known as Lake Country Car Wash) – Consider/approve Building Plans to be located on the SE corner of WIS 67 and Oconomowoc Parkway, south of Kwik Trip:** This request is for final approval of the building plans for a new car wash to be now known as Bubble's Foam Farm. Weber provided background on the project and showed the site plan, noting the overall building footprint has been reduced to 3,347 sf from 4,315 sf. Chris Mullett of LCCW Investments said they had to elongate the building to allow for the car wash equipment. Weber explained other changes to the building included adding curb & gutter to the perimeter, barn doors have been extended down and shutters have been added to the design. Materials include real stone, LP pre-finished siding, Pabst Farms red dimensional shingles on the roof, and vinyl windows which appear dark on the outside but will have a white interior. The Plan Commission recommended that some landscaping be relocated from the north elevation and placed at the end of the car wash which faces WIS 67 to help block headlights shining onto the roadway which the applicant agree to do. Staff questioned the material of

the garage doors, and Mullett explained they will be clear vinyl with a solid top and bottom panels. He handed out photos of the proposed doors and noted they can be matched to any color though he had intended for the panels to be dark gray. Weber requested a final spec sheet and materials list when available. The next step is for the applicant to come into staff with their plan for signage. Members preferred black panels and agreed it is a nice looking building now. Motion by Schrang to approve the building plans as submitted for Bubble's Foam Farm to be located on the SE corner of WIS 67 and Oconomowoc Parkway, noting items that were discussed are to be addressed by Planning Dept staff and top and bottom panels of garage door are to be black; second by Flint. Motion carried 3-1-1 (Schultz voted nay and Nelezen abstained).

**5. Blue Ribbon Baseball – Consider/approve Building Plans to be located on Blue Ribbon Circle N (Tax Key OCOC0635999008):** Weber explained this project was previously reviewed by the Architectural Commission for direction on their colors, materials and design ideas. Their project was also reviewed by the Plan Commission and approval has been given by the Common Council to allow the project to move forward. Weber said they have increased the height of the tower element on the corner of the training facility and added up lighting to the brick columns around the ballpark. James Schroeder, from Jendusa, handed out product flyers and explained where each item would be located as follows: Up lighting – LED fixtures are to be located along the walk, on the wall and other brick pilasters, and at the front entrances; Fences - classic railings; guardrails as needed; decorative Barcelona style wrought iron fences; and chain link fence in the outfield screened with a mesh material; Dumpster Enclosure – precast concrete panels, stone caps, with a black painted steel gate with textured PVC material doors; HVAC Unit – White metal panel to be used to screen rooftop units; Landscaping – will be used to break up wall mass, particularly on east and north elevations; plan to relocate large trees on site and plant in other areas (requested administrative approval by staff); Bollards – solar powered LED units but are considering hard wiring them; and Wall Panels – Precast stone base and brushed concrete walls in dark and light tans. Tom Kelenic of Blue Ribbon Baseball concluded the metal roof's will be red; plan to use reclaimed stadium seating in a red color; buildings will have an industrial feeling; and the brick will give the buildings a real stadium feeling. Members comments included: should consider up – down lighting; not a good location for up lighting - should consider mid-span on columns or in-ground; bollard lighting is a great idea along curb edges and walkways; consider putting lighting behind front beams to make the entrance glow; recommend the inclusion of a man door on the dumpster; when the plans are done for the kitchen area, the members would like to have the venting reviewed administratively by Planning Staff; building should have evergreens along the large building mass due to heat coming off the panels; and should consider adding benches along the walkway by the building. Weber requested a final spec sheet with the colors, materials and vendor's contacts and asked that they bring their signage request to staff for review. Motion by Schultz to approve the building plans for Blue Ribbon Baseball as submitted and the items that were discussed are to be brought back to be administratively approved by Planning Staff; second by Flint. Motion carried 5-0.

**6. Reports and Comments from the City Planning Department:**

**2019 Planning Dept Annual Report:** Weber provided highlights from the 2019 Planning Department Report and gave a summary of the developments which were reviewed by the members and various approvals. She thanked the members for all their work and time reviewing the projects.

**7. Reports and comments from the Architectural Commissioners:** None.

**8. Adjourn:** Motion by Schrang to adjourn at 6:24 pm; second by Schultz. Motion carried 5-0.

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Chris Dehnert, Deputy City Clerk



Department of City Planning  
Kristi Weber | 262.569.2173  
economowoc-wi.gov/planning

## Architectural Commission Background

May 13<sup>th</sup> 2020 : 5:30 pm at City Hall in Council Chambers

### Item #3 – Pabst Farms Apartments; Building Plans

The applicant is requesting approval for building plan of Pabst Farms Apartments located on the north side of Valley Road directly across from Gold Medal Drive. The proposed development consists of a clubhouse and 302-apartment units on roughly 34-acres. The development contains a mix of three building styles including (10) 18-unit and (8) 14-unit 2-story buildings each containing (6) attached garages, and (2) 5-unit 3-story townhomes with each unit containing a 2-car attached garage. Several detached garage banks containing 82 spaces are scattered throughout the site to provide supplementary parking and storage to residents.

This item was previously reviewed for discussion at the October 9<sup>th</sup> 2019 Architectural Commission meeting. The applicant received feedback, considered the comments and is requesting review and action by the Commission.

Planning Staff supports the overall design and implementation of the development; nevertheless, Staff has a few concerns for the Architectural Commission to review:

#### **Long Expansive Rooflines** (§17.207(5)(d))

*City Ordinance §17.207(5)(d) states “Large, unbroken expanses and long, continuous rooflines shall be avoided.”*

The application shows the (10) 18-unit building (Sheets AA1.01-2.01|BLD Type 1) with a long expansive roofline of approximately 166'. Per Code, this length of roofline needs to be broken up, similar to the 14-unit building (Sheets AD1.01-2.01|BLD Type 2) roofline. The units that contain the unbroken rooflines are located on the interior of the property.

Commissioners to determine based on the Ordinance, the number of buildings, their location within the development, and the overall design of the project if the long expansive rooflines should be broken up or are acceptable as submitted.

*Note: Staff reached out to the applicant about the rooflines and she was going to see what they can do, but shared that they have already bid out the project and have to be cautious of any design changes at this time.*

#### **Townhome Side Elevation**

The application shows two different side elevations for the townhome (Sheets AH2.01 & AJ2.01). Staff prefers the side elevation with the door to face Valley Road.

### **Detached Garages**

#### Single Loaded – Rear Elevation

- Each garage is approximately (72') in length. On the west side of the development (4) detached garages are lined up, with no landscaping along that elevation for ~300' of building. Planning Staff suggests adding evergreens along that west side to break up the elevations.

#### Double Loaded – Side Elevation

- Add additional landscaping (for example evergreens/deciduous trees) to break up side elevation where applicable within the development.

### **Clubhouse**

The applicant notified Planning Staff that there are changes being made to the Clubhouse design, including an alternative in roofing material. Applicant to provide updated information about these changes to Commissioners at the meeting for review and approval.

### **Mechanical Equipment**

The application shows the HVAC units on the ground adjacent to the residential buildings. Planning Staff supports this option and just wants to remind the applicant that any visible rooftop venting needs to be screened or any venting on the roof/elevations should be minimized and colored to blend into the building.

### **Signage**

The applicant does not request any signage approvals at this time. The site plans shows a ground sign near the entranceway to the development. No formal action is needed regarding signage by the Architectural Commissioners. When the applicant knows more information, they shall submit an application to the Planning Department for review. The approval process will be determined at that time for the signage.

### **Recommendation:**

**Approve the building plans for Pabst Farms Apartments, located on the north side of Valley Road directly across from Gold Medal Drive, with the following considerations:**

- **Long Expansive Rooflines:** Commissioners to determine if long expansive rooflines shall be broken up.
- **Townhome Side Elevation:** The side elevation with the door to face Valley Road.
- **Detached Garages:**
  - **Single Loaded:** Add additional deciduous trees on rear elevation.
  - **Double Loaded:** Add additional deciduous trees on side elevations.
- **Clubhouse:** Commissioners to review and approve updated building plans.



Department of City Planning  
174 E. Wisconsin Avenue Oconomowoc, WI  
www.oconomowoc-wi.gov | 262.569.2166

## Architectural Building Review

The following information is required to be included and explained in your submittal. The submittal shall be 12 copies (no larger than 11"x17") and collated:

- This Application and \$75 Application Fee (Application Fee will be mailed)
- Project Summary / Narrative
- Overall site and building plan(s)
- Building elevation(s) to scale with dimensions
  - Identify true elevation markers and overall building height
  - Identify all building materials (*i.e. maker, color specs*)
- Color renderings of building elevation(s)
- Dumpster plan(s) and enclosure details (*i.e. colors, materials*)
- Exterior lighting plan(s) and details
- Landscaping plan and plant list
- [Email] All of the above in .pdf format (under 5MB) to Planning Staff
  - Jason Gallo, City Planner: JGallo@oconomowoc-wi.gov | phone: 262-569-2166
  - Kristi Weber, Planner: KWeber@oconomowoc-wi.gov | phone: 262-569-2173
- [At Meeting] Provide and present all building materials and color samples for project

**Name of Applicant** requesting the review: Pabst Farms Apartments LLC, Emily Cialdini  
 Applicant's Address (*include city, state and zip code*): 330 E Kilbourn Ave, Ste 600 South, Milwaukee, WI 53202  
 Applicant's telephone number: 262-305-2940  
 Applicant's email address: ecialdini@mandelgroup.com

**Name of Establishment** requesting the review: Pabst Farms Apartments LLC  
 Address of Establishment (*include city, state and zip code*): 330 E Kilbourn Ave, Ste 600 South, Milwaukee, WI 53202  
 Name of Establishment's primary contact: Emily Cialdini  
 Primary contact's telephone number: 262-305-2940  
 Primary contact's email address: ecialdini@mandelgroup.com

**Property Owner** of establishment requesting the review: Pabst Farms Land Company II, LLC  
 Property Owner's Address (*include city, state and zip code*): 1370 Pabst Farms Cir # 350, Oconomowoc, WI 53066  
 Property Owner's telephone number: 847-815-7255  
 Property Owner's email address: ppbell@pabstfarms.com

**Desired** Start Date: November 2020      **Anticipated** Completion Date: November 2022

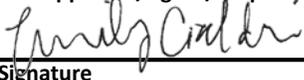
**Zoning of Property:** RMH In the **Downtown District?** (*yes/no*) No **-OR-** on the **Isthmus?** (*yes/no*) No

Describe the following (*if needed, attach additional supporting sheets/details*):

- Roof Pitch / Material(s) / Color(s): Main roof areas 7:12; dormers 4:12; architectural gables 12:12
- Window Glass / Framing: Vinyl window frames; wood
- Type of HVAC system (*ground units / wall packs / venting on elevations?*) Ground units, screened with landscaping. HVAC venting through walls. Plumbing venting through roof.

Are there building mechanicals/equipment/lighting on the roof screened? (*yes/no*) No mechanicals on roof.

As Applicant/Agent/Property Owner, I agree to conform to the approval given by the City Planner/Architectural Commission.

  
Signature

4/21/2020  
Date

April 21, 2020

Jason Gallo, AICP  
City Planner / Zoning Administrator  
City of Oconomowoc  
174 E. Wisconsin Ave  
Oconomowoc, WI 53066

Kristi Weber  
Planner  
City of Oconomowoc  
174 E. Wisconsin Ave  
Oconomowoc, WI 53066

Dear Mr. Gallo and Ms. Weber:

Pabst Farms Apartments LLC, an affiliate of Mandel Group, Inc. (“Mandel”) is pleased to present our development plans for technical review. The project consists of a 302-unit luxury, multifamily development located within Pabst Farms, a 1,500-acre master planned community, near the northeast corner of Old School House Road and Valley Road. The subsequent pages and plan sheets offer additional detail on our development plans. A project summary highlighting our development team and plan of operation are included herein.

### **The Development Team**

We believe in creating best-in-class apartment communities and our efforts at Pabst Farms have been no exception. For this development, Mandel has retained the top consultants in the industry including BSB Design for architecture, K Singh & Associates for civil engineering, Applied Ecological Services for landscape architecture, and Leedy Petzold for site lighting and photometrics.

### **Project Narrative**

Pabst Farms apartment is a market-rate, luxury apartment development consisting of 302 units on roughly 34-acres. The development contains a mix of three building styles including ten 18-unit and eight 14-unit 2-story buildings each containing six attached garages, and two 5-unit 3-story townhomes with each unit containing a 2-car attached garage. Several detached garage banks containing 82 spaces are scattered throughout the site to provide supplementary parking and storage to residents of any unit.

The site planning follows the desired “mews house” concept which effectively leverages the large site acreage by creating intimate courtyards and park areas to encourage pedestrian and resident interaction. The concept also boasts large expanses of communal green space, some areas which will be fully programmed and others which offer open, natural environments.

The clubhouse is positioned at the front door of the development and will house our leasing and maintenance staff, a fitness center, and clubroom and kitchen. The outdoor amenity areas surrounding the clubhouse include a large pool with a Baja lounge (a shallow area offering in pool seating), grill and outdoor patio area equipped with a fireplace and outdoor kitchen and an event lawn space to be programed with lawn games, movies nights and small farmers markets.

The building exteriors feature a “modern farmhouse” aesthetic and utilize white board and baton siding, asphalt shingles, and stone masonry. Elevations and material selections of the architecture are included herein.

Operational hours will be 8am-7pm Monday through Friday and 9am-5pm Saturday and Sunday. The property will have 6 full time employees consisting of management, leasing and maintenance staff.

Outside events may include a small-scale farmers market, movie nights and other programmed events to be held at the event lawn space and clubhouse on site.

We intend to start construction in Fall of 2020. The construction duration will be approximately two years with first units delivered in Fall of 2021. Construction activities will occur from south to north. A detailed phasing and construction plan will be provided once complete.

#### **Plan Reference**

Included herein are the following:

- Architectural Plans prepared by BSB
- Landscape Plans and Counts and Irrigation Plan prepared by AES
- Site Lighting and Photometric plan prepared by Leedy Petzold

We are excited for the opportunity to be a part of the Pabst Farms development and the Oconomowoc community. Thank you in advance for your consideration of our development plans. We welcome the chance to answer any questions you have regarding our company and/or our application.

Very Truly Yours,



Emily Cialdini  
Senior Development Associate  
[ecialdini@mandelgroup.com](mailto:ecialdini@mandelgroup.com)  
414-270-2764





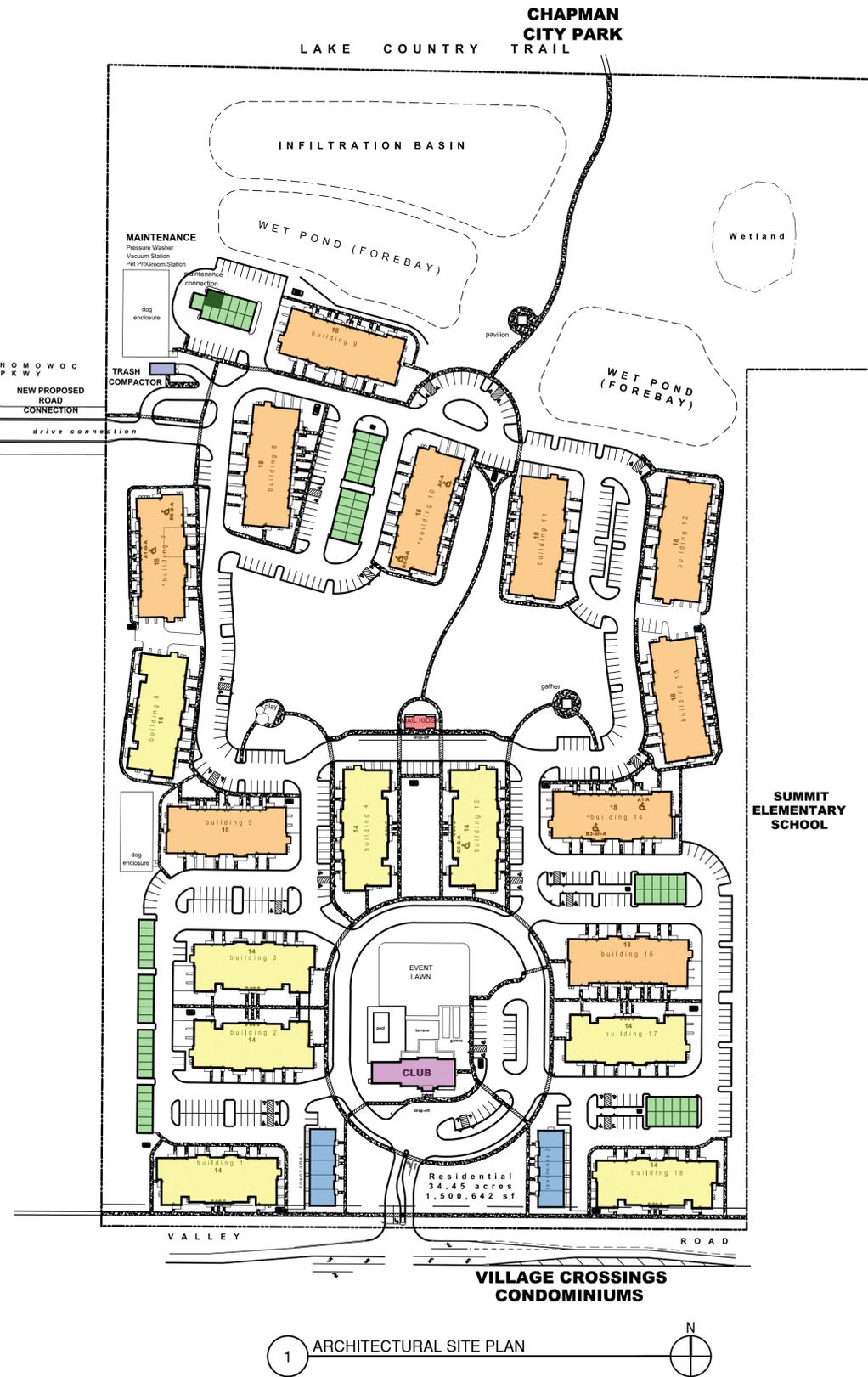






**MIXED COMMERCIAL/  
OFFICE  
11.0 acres**

**MIXED USE  
COMMERCIAL/  
EMPLOYMENT  
CENTER**



1 ARCHITECTURAL SITE PLAN

| COLOR KEY |                   |
|-----------|-------------------|
|           | 14-UNIT BUILDINGS |
|           | 18-UNIT BUILDINGS |
|           | TOWNHOMES         |
|           | CLUBHOUSE         |
|           | GARAGES           |
|           | MAIL KIOSK        |
|           | TRASH COMPACTOR   |

- GENERAL SITE NOTES:**
- THIS ARCHITECTURAL SITE PLAN IS TO BE USED FOR GENERAL INFORMATION, BUILDING IDENTIFICATION, AND RELATIVE POSITIONING OF THE BUILDINGS ONLY. FOR PRECISE SITE DOCUMENTATION INCLUDING, BUT NOT LIMITED TO, GEOMETRY, GRADING, UTILITIES, WATER, SEWER, DRAINAGE AND ADA SITE ACCESSIBILITY, REFER TO DRAWINGS BY CIVIL ENGINEER. PERMITS ON SUCH PORTION OF WORK TO BE SUBMITTED SEPARATELY.
  - COORDINATE WITH ALL ELECTRICAL, PLUMBING & MECHANICAL ENGINEERING DOCUMENTS AFFECTING CONSTRUCTION PRIOR TO FABRICATION, PURCHASE OR INSTALLATION OF ANY EQUIPMENT.
  - SEE CIVIL DRAWINGS FOR SITE ACCESSIBILITY REQUIREMENTS.
  - RETAINING WALLS OVER 30" IN HEIGHT WILL HAVE 42" GUARDRAILS WITH RAIL SPACING OF LESS THAN 4" CLEAR.
  - SEE CIVIL FOR CURB CUTS AND SIDEWALK INFORMATION.
  - PROVIDE SIGNAGE FOR USE BY FIRE DEPARTMENT INDICATING SPRINKLER EQUIPMENT ROOM AND FIRE PROTECTION EQUIPMENT COMPONENTS. SPRINKLER EQUIPMENT ROOM DOOR ASSEMBLIES SHALL BE PROVIDED WITH A SIGN CONFORMING TO THE REQUIREMENTS OF NFPA-13 AND SHALL BE AT LEAST 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES". G.C. TO PROVIDE SHOP DRAWING SUBMITTAL TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - ALL SITE WORK AND LANDSCAPING IS TO BE ESTABLISHED AND DESIGNED BY CIVIL AND LANDSCAPE ARCHITECT.
  - REFER TO CIVIL DRAWINGS FOR DIMENSIONAL CONTROL PLAN AND GRADING.
  - REFER TO CIVIL DRAWINGS FOR FIRE HYDRANT LOCATIONS.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR TRANSFORMER LOCATIONS. (TO BE VERIFIED WITH LOCAL UTILITY SERVICE.)
  - REFER TO CIVIL DRAWINGS FOR BUILDING ELEVATIONS, CURB CUTS AND SIDEWALK INFORMATION.
  - PROVIDE BELOW GRADE WATERPROOFING SYSTEM INSTALLED AT EXTERIOR WALLS SUBJECT TO HYDROSTATIC PRESSURE DUE TO INTERIOR ENVIRONMENT LOCATED BELOW EXTERIOR GRADE. SYSTEM TO BE INSTALLED CONTINUOUSLY OVER CONCRETE FOOTINGS BASED ON ACTUAL SYSTEM USED.
  - ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR, TO EXISTING CONDITION, ANY DAMAGE TO EXISTING CONSTRUCTION, EQUIPMENT OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATIONS, ADDITIONS OR REMOVAL. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR TO EXISTING CONDITION, ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES, PIPING, CONDUIT OR EQUIPMENT.



**ACCESSIBLE UNIT CALCULATIONS**

TOTAL UNITS = 302  
REQUIREMENT PER BUILDING CODE 1107.6.2.2.1

- (7) TYPE-A UNITS NEEDED
- UNITS HAVE BEEN DISPERSED AROUND THE SITE AND ASSIGNED IN PROPORTION TO THE PERCENTAGES OF UNIT CLASSIFICATIONS.

**OVERALL PARKING TOTALS**

| TYPE                           | NUMBER     | NOTES: |
|--------------------------------|------------|--------|
| ATTACHED APT. GARAGES - REG    | 105        |        |
| ATTACHED APT. GARAGES - HC     | 3          |        |
| DETACHED GARAGES - REG         | 80         |        |
| DETACHED GARAGES - HC          | 2          |        |
| ATTACHED TH GARAGES - REG      | 19         |        |
| ATTACHED HC GARAGES - HC       | 1          |        |
| OPEN PARKING APT. AND TH - REG | 359        |        |
| OPEN PARKING APT. AND TH - HC  | 8          |        |
| OPEN PARKING AMENITY - REG     | 20         |        |
| OPEN PARKING AMENITY - HC      | 1          |        |
| <b>TOTAL</b>                   | <b>598</b> |        |



ISSUE DATE: 04/23/2020

| REVISIONS |
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THESE PLANS AND SPECIFICATIONS ARE PREPARED BY BSB DESIGN GROUP, INC. UNDER THE OWNERSHIP OF BSB AND ALL RIGHTS ARE RESERVED.

MANDEL GROUP

**PABST FARMS**  
OCONOMOWOC, WI



220 N. Smith St.  
Palatine, IL 60067  
847-705-2200

JOB NO: MP190056.00 PROJ MGR: MR  
DRAWN: VM, PG, KK, SD CHECKED: ML  
ARCHITECTURAL SITE PLAN



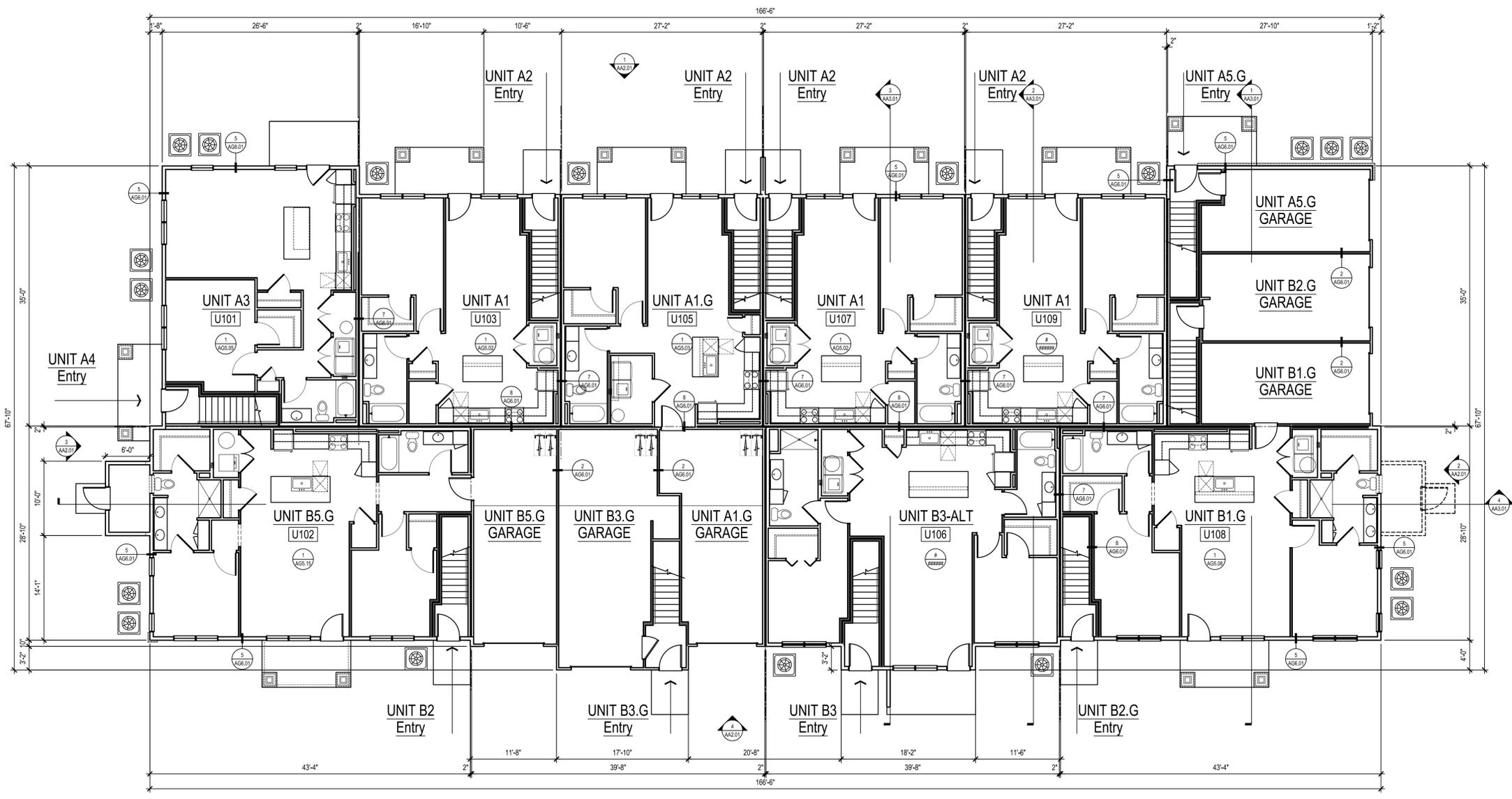
- ### BUILDING PLAN NOTES
1. SEE EDGE OF SLAB PLANS AND UNIT PLANS FOR ADDITIONAL DIMENSIONS AND OTHER INFORMATION.
  2. COORDINATE ALL WORK WITH ALL ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPE DRAWINGS AND SPECIFICATIONS.
  3. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. NO SINGLE SHEET REPRESENTS ALL THE INFORMATION REQUIRED TO BUILD ANY PORTION OF THE BUILDING FOR ANY TRADE.
  4. GC IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES WITH THE FULL SET OF CONSTRUCTION DOCUMENTS.
  5. SEE A0-X SERIES SHEETS FOR ADDITIONAL GENERAL NOTES.
  6. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  7. REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
  8. REFERENCE ELEVATIONS FOR EXTERIOR CLADDING CONDITIONS.
  9. AT LOCATIONS WHERE 2X4 UNIT DEMISING WALL EXTENDS BEYOND ADJACENT UNIT TOWARDS THE BUILDING EXTERIOR, THE EXTERIOR WALL FRAMING WILL BE REQUIRED TO TRANSITION TO 2X6 WALL FRAMING.
  10. ALIGN THE OUTSIDE FACE OF STUDS WITH EDGE OF SLAB BELOW.
  11. CONTINUE 2X6 STUD FRAMING AND ALL LAYERS OF INTERIOR GYPSUM BOARD TO CLOSEST INTERIOR PERPENDICULAR WALL, TYPICAL.
  12. MAINTAIN MINIMUM 7'-6" (90") HEADROOM CLEARANCE ABOVE FINISHED FLOOR AT ALL AMENITY AREAS & HABITABLE SPACES AT RESIDENTIAL FLOORS. SEE PLANS FOR CEILING HEIGHTS.
  13. ALL WALKING SURFACES AT MEANS OF EGRESS ROUTES SHALL HAVE SLIP RESISTANT FINISH.

ISSUE DATE: 03/13/2020

| NO. | REVISIONS |
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THIS PLAN AND ALL INFORMATION HEREON ARE THE PROPERTY OF MANDEL GROUP AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MANDEL GROUP.

MANDEL GROUP



10,335 GSF  
LEVEL 1 PLAN  
1/8" = 1'-0"

**PABST FARMS**  
ECONOMOWOC, WI



220 N. Smith St.  
Palatine, IL 60067  
847-705-2200

JOB NO: MP190056.00    PROJ MGR: MR  
DRAWN: VM, PG, KK, SD    CHECKED: ML  
BUILDING PLAN - LEVEL 1

APTS - BLD TYPE 1  
**AA1.01**

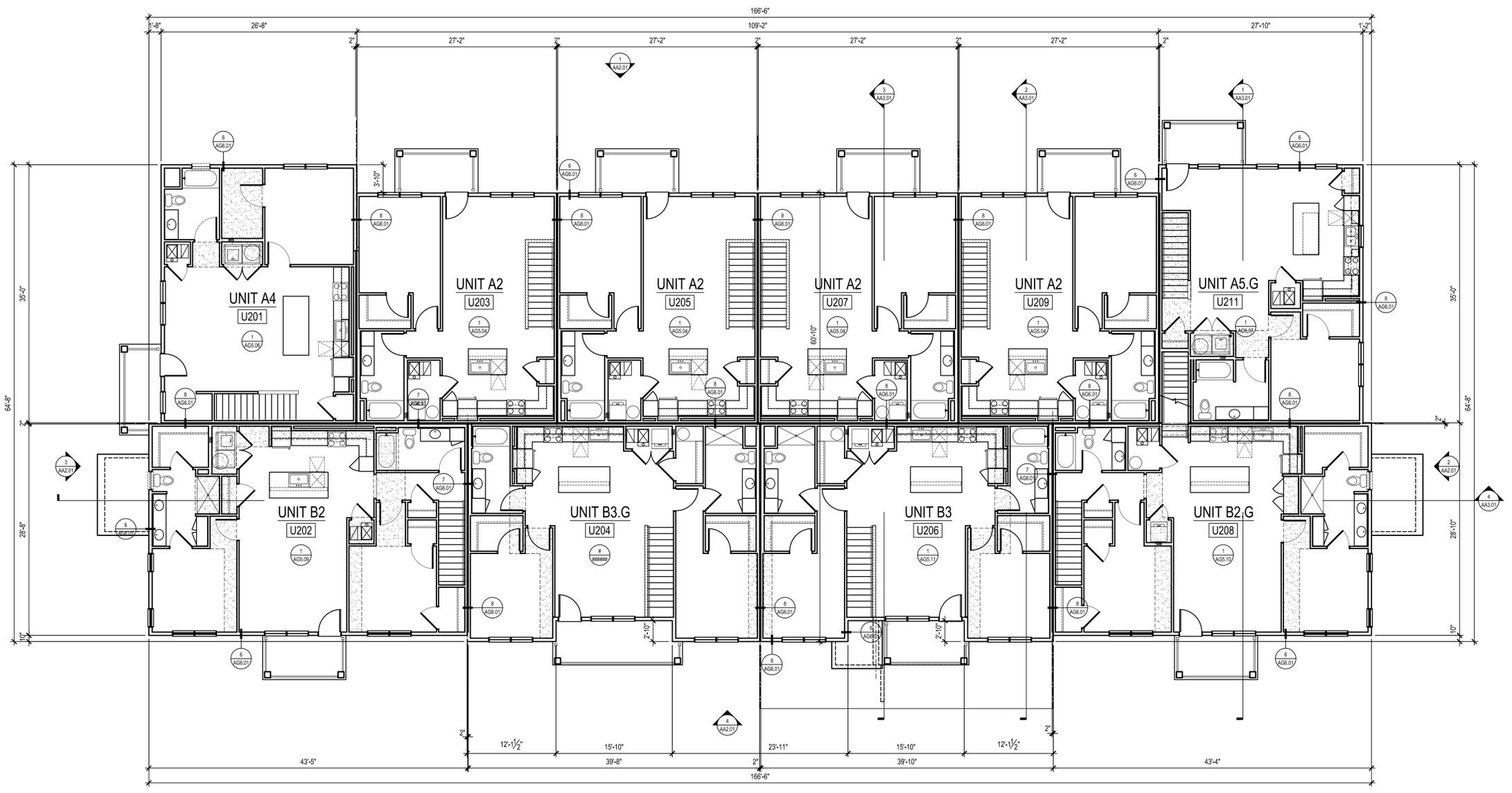
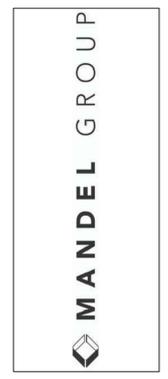
04-14-2020 CITY TECHNICAL REVIEW

- ### BUILDING PLAN NOTES
1. SEE EDGE OF SLAB PLANS AND UNIT PLANS FOR ADDITIONAL DIMENSIONS AND OTHER INFORMATION.
  2. COORDINATE ALL WORK WITH ALL ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPE DRAWINGS AND SPECIFICATIONS.
  3. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. NO SINGLE SHEET REPRESENTS ALL THE INFORMATION REQUIRED TO BUILD ANY PORTION OF THE BUILDING FOR ANY TRADE.
  4. GC IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES WITH THE FULL SET OF CONSTRUCTION DOCUMENTS.
  5. SEE A0-X SERIES SHEETS FOR ADDITIONAL GENERAL NOTES.
  6. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  7. REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL LOCATIONS.
  8. REFERENCE ELEVATIONS FOR EXTERIOR CLADDING CONDITIONS.
  9. AT LOCATIONS WHERE 2X4 UNIT DEMISING WALL EXTENDS BEYOND ADJACENT UNIT TOWARDS THE BUILDING EXTERIOR, THE EXTERIOR WALL FRAMING WILL BE REQUIRED TO TRANSITION TO 2X6 WALL FRAMING.
  10. ALIGN THE OUTSIDE FACE OF STUDS WITH EDGE OF SLAB BELOW.
  11. CONTINUE 2X6 STUD FRAMING AND ALL LAYERS OF INTERIOR GYPSUM BOARD TO CLOSEST INTERIOR PERPENDICULAR WALL, TYPICAL.
  12. MAINTAIN MINIMUM 7'-6" (90") HEADROOM CLEARANCE ABOVE FINISHED FLOOR AT ALL AMENITY AREAS & HABITABLE SPACES AT RESIDENTIAL FLOORS. SEE PLANS FOR CEILING HEIGHTS.
  13. ALL WALKING SURFACES AT MEANS OF EGRESS ROUTES SHALL HAVE SLIP RESISTANT FINISH.

ISSUE DATE: 03/13/2020

| NO. | REVISIONS |
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THIS PLAN AND ALL INFORMATION HEREON ARE THE PROPERTY OF MANDEL GROUP AND SHALL BE KEPT IN CONFIDENCE. NO PARTS OF THIS PLAN OR ANY INFORMATION HEREON SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MANDEL GROUP.



1
 10,072 GSF  
 LEVEL 2 PLAN  
 1/8" = 1'-0"

**PABST FARMS**  
 OCONOMOWOC, WI



220 N. Smith St.  
 Palatine, IL 60067  
 847-705-2200  
 JOB NO: MP190056.00    PROJ MGR: MR  
 DRAWN: VM, PG, KK, SD    CHECKED: ML  
 BUILDING PLAN - LEVEL 2

04-14-2020 CITY TECHNICAL REVIEW

APTS - BLD TYPE 1  
**AA1.02**

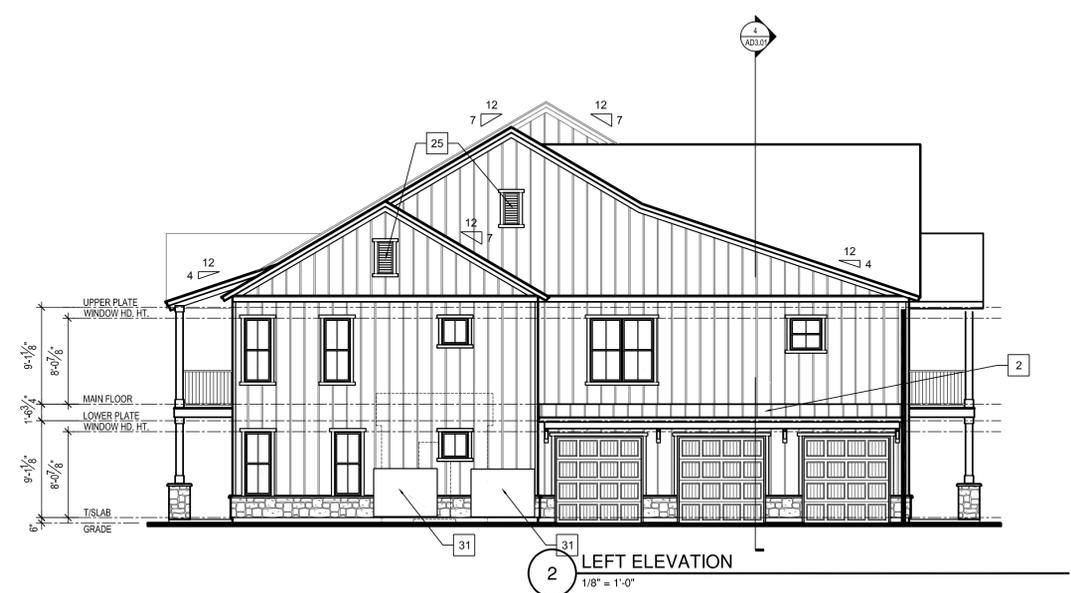








4 REAR ELEVATION  
1/8" = 1'-0"



2 LEFT ELEVATION  
1/8" = 1'-0"



3 RIGHT ELEVATION  
1/8" = 1'-0"

- ### ELEVATION NOTES
1. PROVIDE DRIP CAP FLASHING AT ALL WINDOW & DOOR HEADS.
  2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATIONS.
  3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER INTO THE EXTERIOR SHELL OF THE BUILDING.
  4. ACCESSIBLE ROUTES - ADJUST FINISHED GRADING & SLOPE WALKWAYS UP TO PORCH LANDINGS AT ALL EXTERIOR COMMON ENTRIES. COORDINATE REQUIREMENTS WITH CIVIL ENGINEERING DOCUMENTS.
  5. SEE SPECIFICATIONS, GENERAL NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
  6. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING AS REQUIRED PER SECTION 2406 OF THE 2012 IBC.
  7. EXHAUST VENT COVERS IN EXTERIOR WALLS SHALL HAVE COLOR TO MATCH ADJACENT SIDING OR STONE COLOR.
  8. EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNLESS OTHERWISE NOTED. CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNER WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE MASONRY VENEER FACE, UNLESS NOTED OTHERWISE.
  9. SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING.
  10. PROVIDE 3/8" JOINT SPACE WITH SEALANT INTERFACE BETWEEN DISSIMILAR EXTERIOR FINISHES.
  11. GENERAL CONTRACTOR TO CONSOLIDATE AND ALIGN (VERTICALLY AND HORIZONTALLY) ALL DRYERS AND EXHAUST VENTS. COORDINATE WITH MEP, ARCHITECTURAL AND STRUCTURAL.
  12. CONFIRM EXTERIOR SIGNAGE LOCATIONS WITH THE OWNER AND PROVIDE BLOCKING AND POWER AS REQUIRED. COORDINATE EXTERIOR FINISH INSTALLATION WITH SIGNAGE AS NECESSARY.

### ELEVATION FINISH SCHEDULE

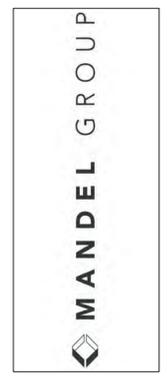
| TAG | MATERIAL  |
|-----|---|
| 1   | ARCHITECTURAL ROOF SHINGLES (PEWTER)            |
| 2   | STANDING SEAM METAL ROOFING (PEWTER)            |
| 3   | ALUMINUM GUTTER AND DS, TYP                     |
| 4   | ENGINEERED PANEL BOARD AND BATTEN (WHITE)       |
| 5   | ENGINEERED PANEL BOARD AND BATTEN (TAUPE)       |
| 6   | ENGINEERED PANEL BOARD AND BATTEN (CHARCOAL)    |
| 7   | ARCHITECTURAL METAL (BLACK)                     |
| 8   | STONE VENEER (LONDON GRAY)                      |
| 9   | CAST STONE CAP (BUFF)                           |
| 10  | ENGINEERED CORNER BOARDS (WHITE)                |
| 11  | ENGINEERED CORNER BOARDS (CHARCOAL)             |
| 12  | ENGINEERED TRIM BOARD (WHITE)                   |
| 13  | ENGINEERED TRIM BOARD (CHARCOAL)                |
| 14  | ENGINEERED FASCIA BOARD (WHITE)                 |
| 15  | ENGINEERED FASCIA BOARD (CHARCOAL)              |
| 16  | ENGINEERED FRIEZE BOARD (WHITE)                 |
| 17  | ENGINEERED FRIEZE BOARD (CHARCOAL)              |
| 18  | PRE-FINISHED ALUMINUM RAILING SYSTEM (BLACK)    |
| 19  | SINGLE HUNG WINDOW (BLACK)                      |
| 20  | TRANSOM WINDOW (BLACK)                          |
| 21  | FIXED WINDOW (BLACK)                            |
| 22  | ALUM. STOREFRONT DOORS AND WINDOWS (BLACK)      |
| 23  | OVERHEAD DOOR                                   |
| 24  | 12"x30" DECORATIVE LOUVER                       |
| 25  | 18"x36" DECORATIVE LOUVER                       |
| 26  | DECORATIVE BRACKET                              |
| 27  | DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL PLANS |
| 28  | PAINT ROOF VENTS TO MATCH ROOF COLOR            |
| 29  | KNOX BOX AND STROBE LOCATED AT SPRINKLER ROOM   |
| 30  | LOCATE FDC AT EACH BUILDING'S SPRINKLER ROOM    |
| 31  | GAS METER LOCATION - SEE CIVIL DRAWINGS         |
| 32  | ELECTRIC METER LOCATION - SEE CIVIL DRAWINGS    |
| 33  | ALTERNATE SPRINKLER ROOM LOCATION               |

NOTE: KEY NOTES INDICATE TYPICAL MATERIALS - REVIEW ELEVATIONS & DETAILS FOR ADDITIONAL INFORMATION.



1 FRONT ELEVATION  
1/8" = 1'-0"

ISSUE DATE: 03/13/2020  
REVISIONS



**PABST FARMS**  
ECONOMOWOC, WI



220 N. Smith St.  
Palatine, IL 60067  
847-705-2200

JOB NO: MP190306.00 PROJ MGR: MR  
DRAWN: VM, PG, KK, SD CHECKED: ML  
EXTERIOR ELEVATIONS

APTS - BLD TYPE 2  
**AD2.01**

04-14-2020 CITY TECHNICAL REVIEW



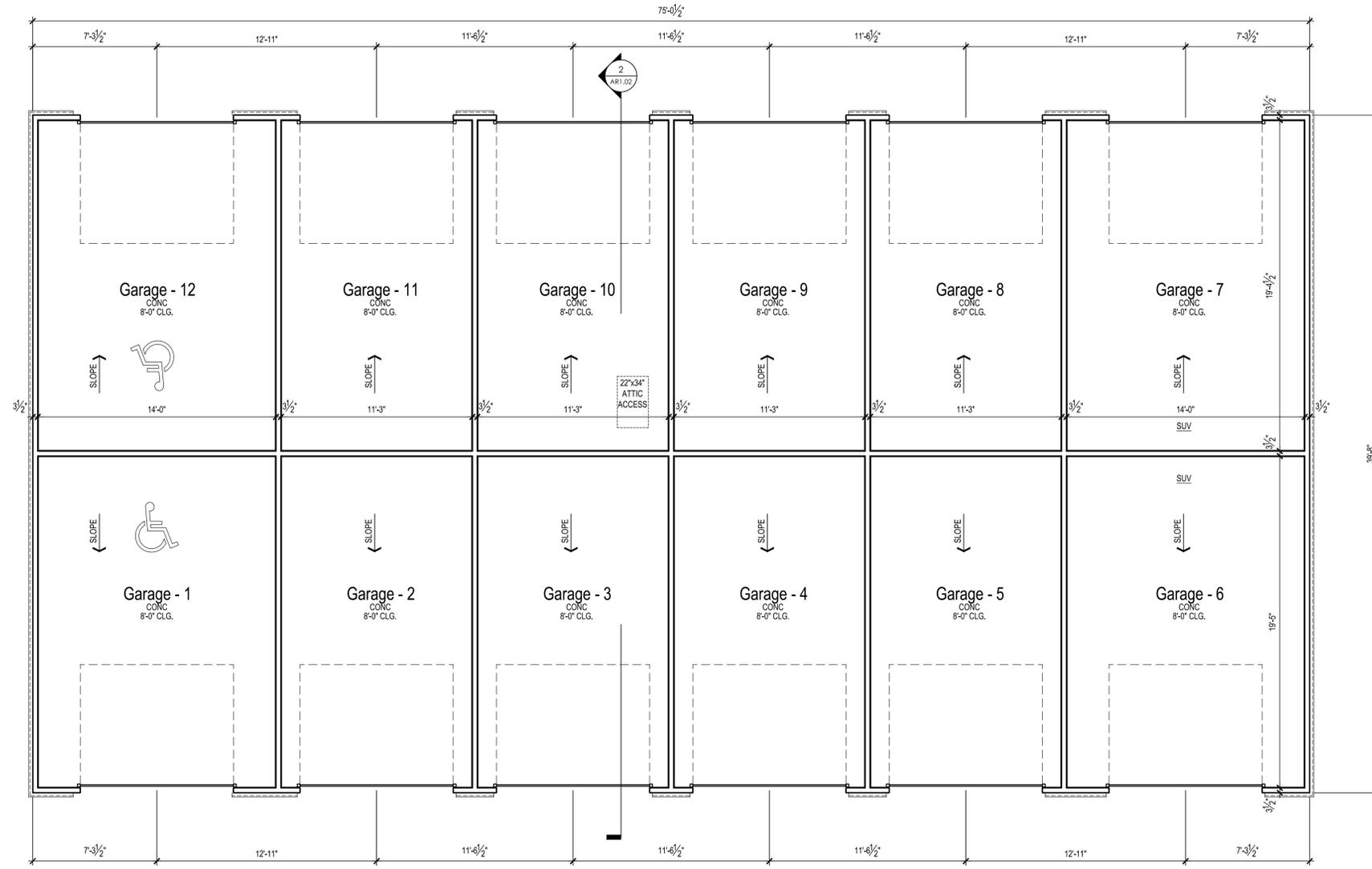












1 2,977 GSF  
 FLOOR PLAN - ACCESSIBLE  
 1/4" = 1'-0"

ISSUE DATE: 03/13/2020

| NO. | DESCRIPTION |
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**PABST FARMS**  
 OCCONOMOWOC, WI



220 N. Smith St.  
 Palatine, IL 60067  
 847-705-2200

JOB NO: MP190356.00 PROJ MGR: MR  
 DRAWN: VM, PG, KK, SD CHECKED: ML  
 DOUBLE LOAD GARAGE WITH ACCESSIBLE STALLS

ANCILLARY  
**AR1.01**

04-14-2020 CITY TECHNICAL REVIEW







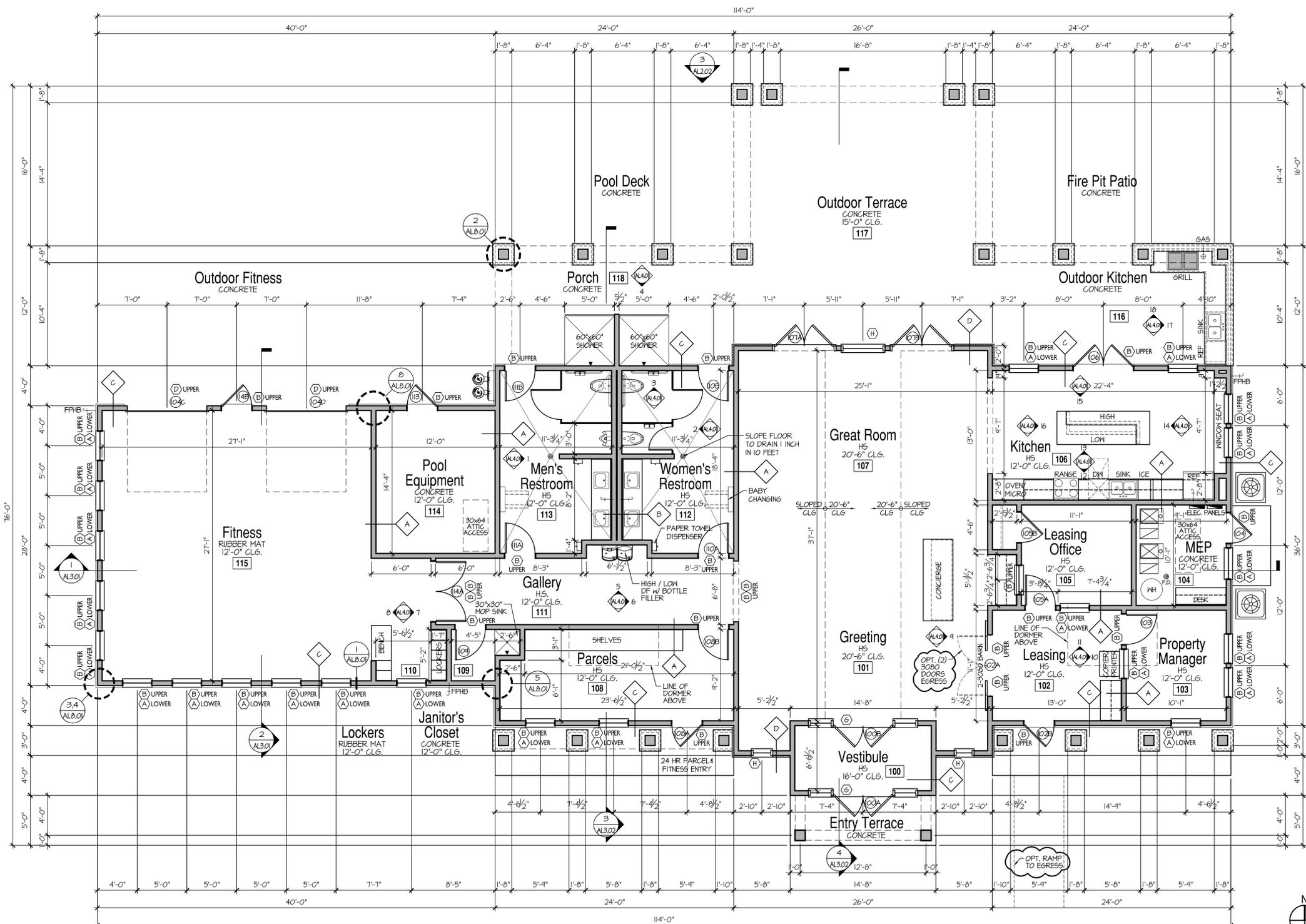




**FLOOR PLAN NOTES:**

1. REFER TO DOOR AND WINDOW SCHEDULE SHEET A6.01 FOR INFORMATION ON OPENINGS.
2. GENERAL CONTRACTOR TO COORDINATE ALL PLUMBING / MECHANICAL / FIRE PROTECTION PENETRATION THROUGH FLOORS / WALLS AMONG VARIOUS CONTRACTORS AND TRADES INVOLVED. TYPICAL - REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL CONTRACTORS FOR RELATED ITEMS.
3. ALL NON-DIMENSIONED PARTITIONS ARE 5 1/2" ROUGH.
- 3.1. ALL EXTERIOR DIMENSIONS ARE FACE OF STUDS UNLESS OTHERWISE NOTED.
- 3.2. ALL DIAGONAL WALLS TO BE 45 DEGREES, U.N.O.
4. TYPICAL WINDOW HEADER HEIGHT SHALL BE 8'-3" AFF. U.N.O.
5. GENERAL CONTRACTOR SHALL VERIFY ALL PLUMBING FIXTURE MODELS ON THE DRAWINGS WITH DEVELOPER.
6. NOTES SHOWN ON THIS DRAWING ARE TYPICAL FOR ALL SIMILAR ITEMS / CONDITIONS ON THIS SHEET.
7. ALL FRAMING LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED.
8. ALL INTERIOR WALLS, NOT INDICATED AS FIRE RATED, SHALL HAVE ONE LAYER 5/8" GYP BOARD ON EACH SIDE, SEE TYPE "A" ON A2.01 (EXCEPT CHASE WALLS TO HAVE GYP BOARD ONE SIDE).
9. REFER TO WALL TYPES ON THIS SHEET FOR INFORMATION ON WALL AND PARTITION ASSEMBLIES.
10. ALL INTERIOR SIGNAGE SHALL BE MOUNTED AT 60" TO THE CENTERLINE OF THE SIGN ON THE LATCH SIDE OF THE DOOR.
11. WALLS WITHIN 2'-0" OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE, TO A HEIGHT OF 4'-0" ABOVE THE FINISHED FLOOR, NOT ADVERSELY AFFECTED BY MOISTURE.
12. TOILET AND BATHING ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE, THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 6".
13. IDENTIFY ELECTRICAL / MECHANICAL ROOMS WITH 3-INCH HIGH LETTERING PLACED ON THE DOOR.
14. MAINTAIN A 36" WORKING CLEARANCE FROM FLOOR TO CEILING IN FRONT OF THE ELECTRICAL PANELS, THIS SPACE MUST BE THE MINIMUM WIDTH OF THE EQUIPMENT BUT AT LEAST 30 INCHES. IDENTIFY THESE AREAS WITH A 2-INCH WIDE YELLOW STRIPE.
15. THERE WILL BE NO SWIMMING ALLOWED AFTER SUNSET.
16. THE FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT BE OBSTRUCTED BY LANDSCAPING, FENCING, SIGNS, PARKING, BUILDING UTILITIES - I.E. TRANSFORMERS, ETC.
17. DRINKING FOUNTAINS SHALL HAVE A CODE COMPLIANT INTEGRAL PROTRUDING OBJECT BARRIER OR PROVIDE A KING WALL FLUSH WITH OUTERMOST PROJECTION OF DRINKING FOUNTAINS. INTEGRAL BARRIERS, WHERE PROVIDED, SHALL EXTEND DOWNWARD FROM THE DRINKING FOUNTAIN TO AT LEAST 26 3/4" ABOVE FINISHED FLOOR.
18. ATTIC ACCESS: FULL-DOWN STAIR MINIMUM 30" WIDE. "SUPERSIMPLEX" COMMERCIAL TYPE MODEL 5144-B-30 AS HFR BY PRECISION STAIR. (OR APPROVED EQUAL) CAPABLE OF WITHSTANDING 500# LOAD, WITH HANDRAIL ONE SIDE, STANDARD DOOR PANEL. PROVIDE 30" x 64" R.O. (OR AS REQUIRED BY MFR) TYPICAL. SEE PLAN FOR LOCATIONS.
19. LOW VOLT. / TELECOM. / COMPUTER RACKS BY OTHERS.
20. FROST PROOF HOSEBIB LOCATIONS TO BE VERIFIED BY OWNER.

- SECTION TAG
- WALL TYPE TAG - REFER TO SHEET A2.01
- DOOR TYPE TAG - REFER TO SHEET A6.01
- WINDOW TYPE TAG - REFER TO SHEET A6.01
- VERTICAL BRICK OR EIFS CONTROL JOINT (FULL HEIGHT OF BRICK - ALIGN JOINTS VERTICALLY)
- EXPANSION JOINT



**Main Floor Plan**

SCALE: 3/16"=1'-0"

ISSUE DATE: 04/15/2020

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MANDEL GROUP

PABST FARMS  
OCCONOMOWOC, WI



1540 Dundee Road  
Palatine, Illinois 60074  
847 705 2200

JOB NO: MP190036 PROJ MGR: MR  
DRAWN: KK CHECKED: MR  
MAIN FLOOR PLAN

Clubhouse  
**AL1.01**

04-15-2020 - Progress Set



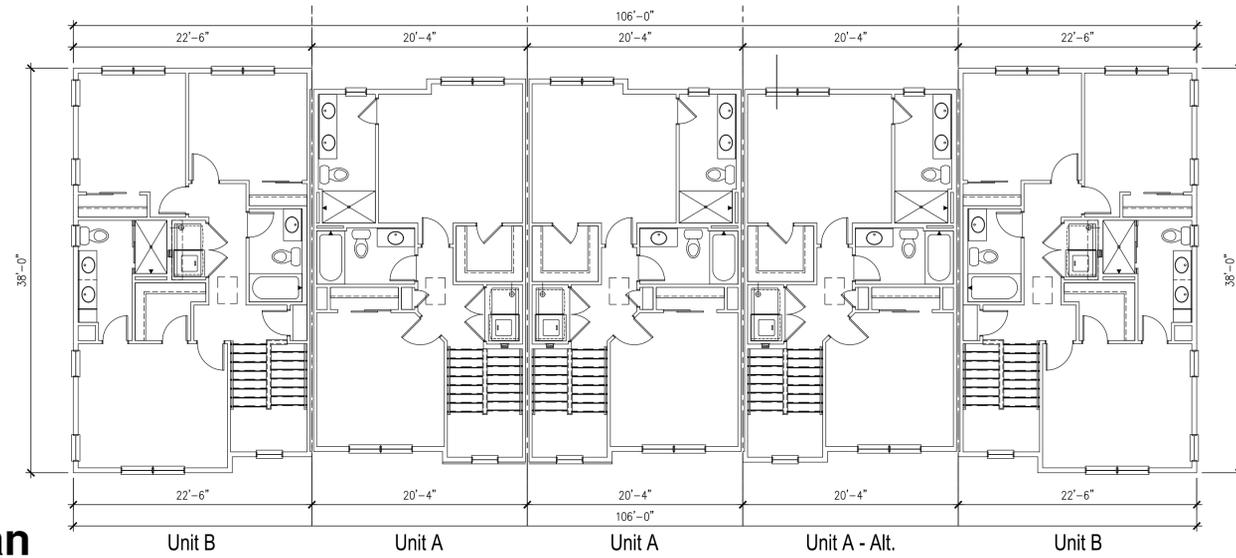






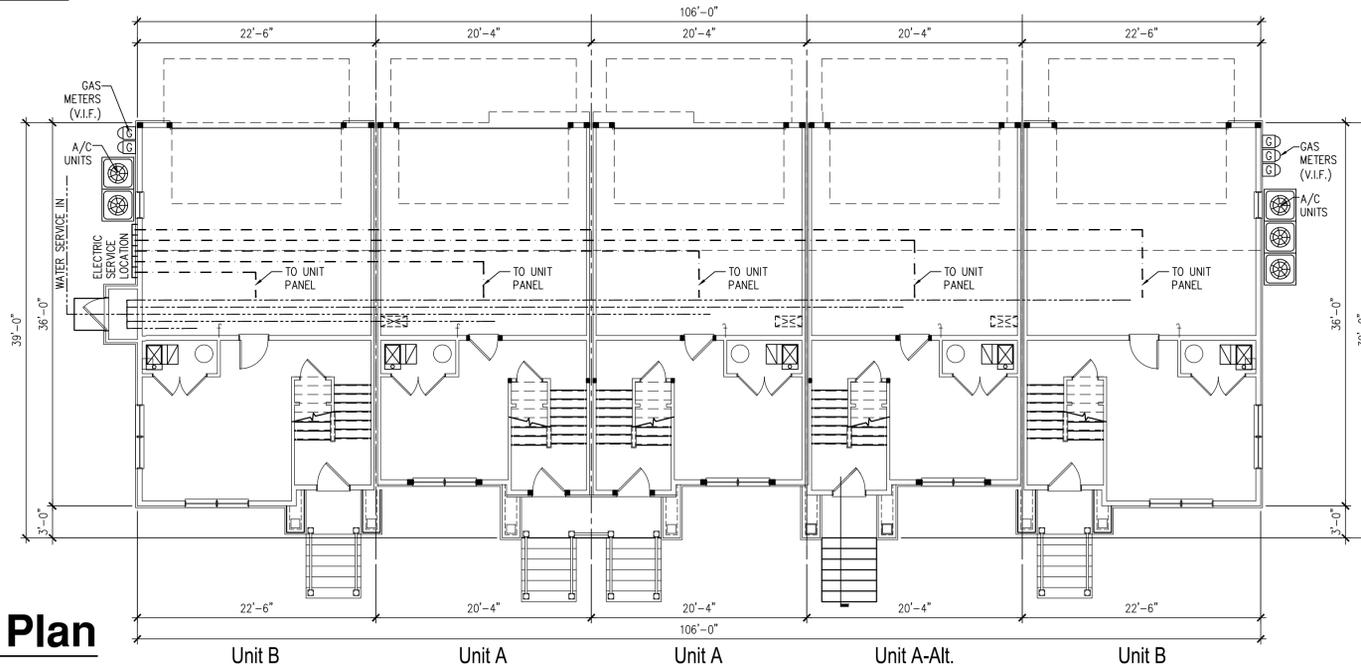
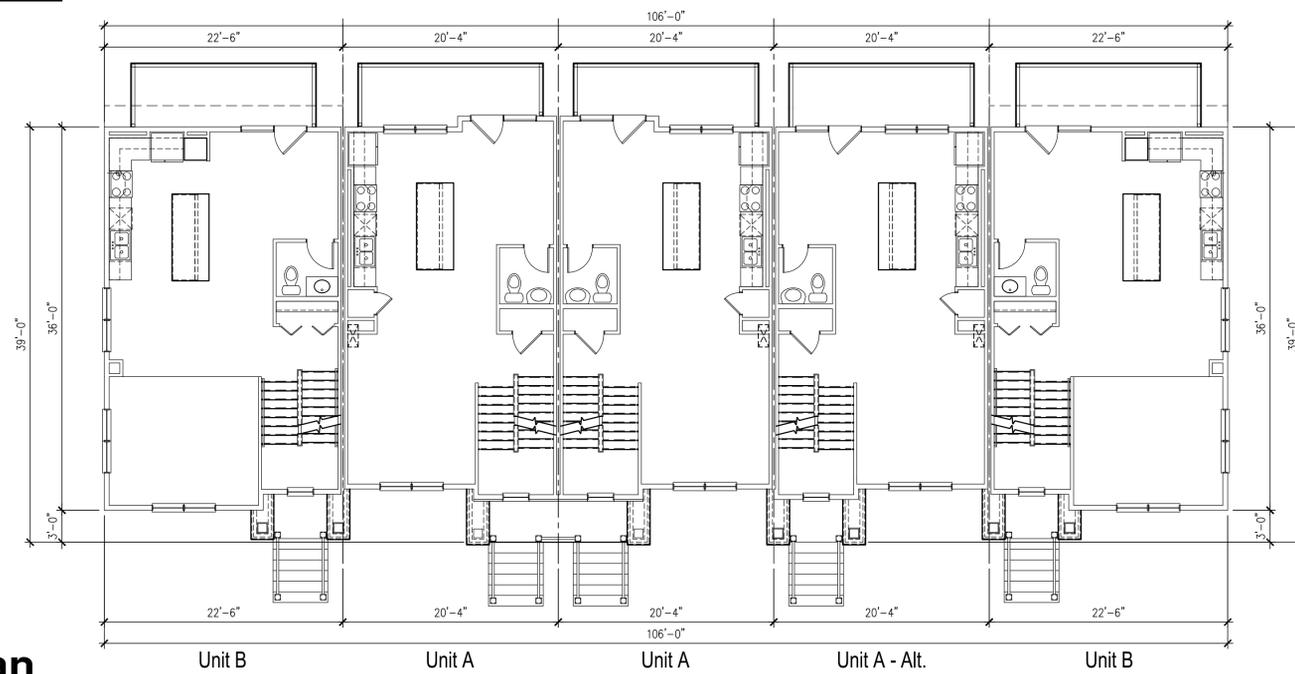
## Upper Floor Assembly Plan

SCALE: 1/8"=1'-0"



## Main Floor Assembly Plan

SCALE: 1/8"=1'-0"



## Lower Floor Assembly Plan

SCALE: 1/8"=1'-0"

### CONSTRUCTION ASSEMBLIES:

THE FOLLOWING KEYNOTES REFER TO THE SYMBOLS AS SHOWN ON PLANS

- A. ROOF CONSTRUCTION:  
CLASS 'A' SEAL TAB ROOF SHINGLES OVER 15# BUILDING PAPER ON 7/16" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS). 30" STARTER STRIP AT ALL EAVES AND FLASHING POINTS. PROVIDE ICE & WATER SHIELD FROM EAVE TO 24" FROM INSIDE FACE OF WALL.  
CEILING: 5/8" GYPSUM BOARD WITH R-38 INSULATION ABOVE (COMBINED R-11 KRAFT PAPER FACED BATT & R-38 BLOWN-IN).
- B1. TYPICAL SIDING WALL CONSTRUCTION:  
TYPICAL SIDING (PER ELEVATIONS) ON WATER RESISTANT BARRIER ON 7/16" EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. (SEE PLANS) w/ R-19 KRAFT FACED BATT INSULATION IN CAVITIES, AT CONDITIONED SPACES.  
INTERIOR: 1/2" GYPSUM BOARD.
- B2. TYPICAL STONE VENEER WALL CONSTRUCTION:  
ADHERED STONE VENEER (INSTALL PER MANUFACTURERS SPECS). PRE-FINISHED 'HARDIE' SIDING OVER TYVEK HOUSE WRAP (HOUSE WRAP SHALL RUN CONTINUOUS BEHIND ALL ROOF TO EXTERIOR WALL CONNECTIONS). 1/2" EXTERIOR GRADE OSB WALL SHEATHING. 2x6 WOOD STUDS (PER PLAN) AT 16" OC UNLESS OTHERWISE NOTED. R-20 BATT INSULATION WITH INTEGRAL VAPOR BARRIER.  
5/8" GYPSUM BOARD FINISH.
- C. TYPICAL FLOOR CONSTRUCTION:  
FINISHED FLOORING ON 3/4" T&G FLOOR SHEATHING (GLUED AND NAILED). 1/4" UNDERLAYMENT AT VINYL AREAS. 3/8" UNDERLAYMENT AT CERAMIC AREAS ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.  
CEILING: 5/8" GYPSUM BOARD
- D1. UNIT SLAB CONSTRUCTION:  
4" THICK CONCRETE SLAB (3000 PSI) OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.
- D2. GARAGE SLAB CONSTRUCTION:  
5" THICK CONCRETE SLAB (3500 PSI) w/FIBERMESH OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL.
- D3. PORCH SLAB CONSTRUCTION:  
4" THICK CONCRETE SLAB (3000 PSI) #3 REBAR @ 18" O.C. EACH WAY OVER 4" MINIMUM GRANULAR FILL.

### General Electrical Service Notes:

1. Ganged Meter Bank shall be located at the side of the structure closest to the electrical transformer. Contract electrician must call Poz at 630-305-5223 prior to purchase and installation of such ganged meter. Failure to do so, will be subject in having meter socket relocated at the expense of the owner/contractor.
2. Main disconnect shall be appropriately rated.
3. Service equipment shall be mounted to the exterior of the structure.
4. Secondary service lines are not owned by NDPU-E and shall not be marked as part of the JULIE system. Customer is responsible for installing secondary electrical service lines to the transformer with NDPU-E making all final connections.
5. Transformer, primary lines to the transformer, and meter shall be labeled as utility owned and supplied.
6. All secondary lines shall be labeled as customer owned and supplied.

| RESIDENTIAL UNIT MATRIX                          |                             |             |  |                            |            |       |                  |           |           |       |
|--|-----------------------------|-------------|--|----------------------------|------------|-------|------------------|-----------|-----------|-------|
| PROJECT: PABST FARMS - TOWNHOMES-BUILDINGS 1 & 2 |                             |             |  | CLIENT: MANDEL GROUP, INC. |            |       |                  |           |           |       |
| PHASE: DESIGN DEVELOPMENT DRAWINGS               |                             |             |  | DATE: 03/13/2020           |            |       |                  |           |           |       |
| UNIT   | DESCRIPTION                 | TARGETED SF | NSF (SF)   | GSF (SF)                   | UNIT COUNT |       |                  | TOTAL NSF | TOTAL GSF | NOTES |
|  |                             |             |  |                            | LEVEL 1    | TOTAL | PERCENT OF TOTAL |           |           |       |
| TOWNHOME UNITS                                   |                             |             |  |                            |            |       |                  |           |           |       |
| A  | 2 BED / 2 1/2 BATH (ANSI-B) | 0           | 1,566  | 2,116                      | 2          | 2     | 40.0%            | 3,132     | 4,232     |       |
| A-ALT  | 2 BED / 2 1/2 BATH (ANSI-B) | 0           | 1,550  | 2,098                      | 1          | 1     | 20.0%            | 1,550     | 2,098     |       |
| B  | 3 BED / 2 1/2 BATH (ANSI-B) | 0           | 1,839  | 2,442                      | 2          | 2     | 40.0%            | 3,678     | 4,884     |       |
| TOTAL TOWNHOMES                                  |                             |             |  |                            |            | 5     | 100.0%           | 3,132     | 4,232     |       |
| TOTALS   |                             |             |  |                            |            |       |                  |           |           |       |
| NOTE: PARKING PROVIDED AT 1 SPACE PER BEDROOM    |                             | NSF:        | MEASURED AT INTERIOR FACE OF GYP BOARD AT PERIMETER OF UNIT  |                            |            |       |                  |           |           |       |
|  |                             | GSF:        | MEASURED TO EXTERIOR FACE OF STUD AT EXTERIOR AND CORRIDOR WALLS AND TO CENTERLINE OF DEMISING WALLS |                            |            |       |                  |           |           |       |

ISSUE DATE: 03/13/2020

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MANDEL GROUP

PABST FARMS  
OCCONOMOWOC, WI



1540 Dundee Road  
Palatine, Illinois 60074  
847 705 2200

JOB NO: MP190036.00 PROJ MGR: MR  
DRAWN: KK CHECKED: MR  
LOWER FLOOR ASSEMBLY PLAN  
MAIN FLOOR ASSEMBLY PLAN  
UPPER FLOOR ASSEMBLY PLAN

TOWNHOMES BUILDING 2  
AJ1.01

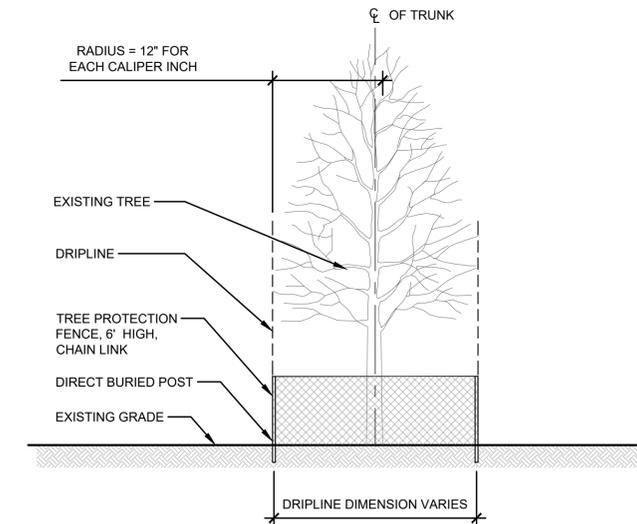
03-13-2020 - Design Development



### EXISTING TREES

| Tag # | Scientific Name        | Common Name       | DBH | Condition Rating | Action | Notes  |
|-------|------------------------|-------------------|-----|------------------|--------|--|
| 751   | Gleditsia triacanthos  | Honeylocust       | 30  | 2                | Save   | On adjacent property                         |
| 752   | Gleditsia triacanthos  | Honeylocust       | 32  | 2                | Save   | On adjacent property                         |
| 753   | Gleditsia triacanthos  | Honeylocust       | 30  | 2                | Save   | On adjacent property                         |
| 754   | Gleditsia triacanthos  | Honeylocust       | 30  | 2                | Save   | In ROW, may be impacted by road modification |
| 755   | Tilia americana        | Basswood          | 34  | 4                | Save   | In ROW, may be impacted by road modification |
| 756   | Fraxinus pennsylvanica | Green Ash         | 6   | 3                | Remove |  |
| 757   | Picea pungens          | Blue Spruce       | 6   | 2                | Remove |  |
| 758   | Picea pungens          | Blue Spruce       | 4   | 2                | Remove |  |
| 759   | Picea pungens          | Blue Spruce       | 8   | 2                | Remove |  |
| 760   | Picea pungens          | Blue Spruce       | 4   | 2                | Remove |  |
| 761   | Picea pungens          | Blue Spruce       | 10  | 2                | Remove |  |
| 762   | Picea pungens          | Blue Spruce       | 4   | 2                | Remove |  |
| 763   | Picea pungens          | Blue Spruce       | 8   | 2                | Remove |  |
| 764   | Picea pungens          | Blue Spruce       | 5   | 2                | Remove |  |
| 765   | Picea pungens          | Blue Spruce       | 2.5 | 2                | Remove |  |
| 766   | Picea pungens          | Blue Spruce       | 6   | 2                | Remove |  |
| 767   | Picea pungens          | Blue Spruce       | 4   | 2                | Remove |  |
| 768   | Acer platanoides       | Norway Maple      | 6   | 2                | Save   | On adjacent property                         |
| 769   | Picea pungens          | Blue Spruce       | 5   | 2                | Remove |  |
| 770   | Acer platanoides       | Norway Maple      | 6   | 2                | Remove |  |
| 771   | Picea pungens          | Blue Spruce       | 5   | 2                | Remove |  |
| 772   | Picea pungens          | Blue Spruce       | 12  | 2                | Remove |  |
| 773   | Picea pungens          | Blue Spruce       | 5   | 2                | Remove |  |
| 774   | Picea pungens          | Blue Spruce       | 11  | 2                | Remove |  |
| 775   | Picea pungens          | Blue Spruce       | 7   | 2                | Remove |  |
| 776   | Picea pungens          | Blue Spruce       | 8   | 2                | Remove |  |
| 777   | Picea pungens          | Blue Spruce       | 5   | 2                | Remove |  |
| 778   | Picea pungens          | Blue Spruce       | 9   | 2                | Remove |  |
| 779   | Picea pungens          | Blue Spruce       | 8   | 2                | Remove |  |
| 780   | Picea pungens          | Blue Spruce       | 3   | 2                | Remove |  |
| 781   | Picea pungens          | Blue Spruce       | 5   | 2                | Remove |  |
| 782   | Picea pungens          | Blue Spruce       | 9   | 2                | Remove |  |
| 783   | Picea pungens          | Blue Spruce       | 4   | 2                | Remove |  |
| 784   | Picea pungens          | Blue Spruce       | 8   | 2                | Remove |  |
| 785   | Picea pungens          | Blue Spruce       | 6   | 2                | Remove |  |
| 786   | Picea pungens          | Blue Spruce       | 5   | 2                | Save   | On adjacent property                         |
| 787   | Picea pungens          | Blue Spruce       | 4   | 3                | Save   | On adjacent property                         |
| 788   | Juniper virginiana     | Eastern Red Cedar | 4   | 2                | Save   | On adjacent property                         |
| 789   | Acer rubrum            | Red Maple         | 3   | 5                | Save   |  |
| 790   | Acer rubrum            | Red Maple         | 4   | 5                | Save   |  |

Condition Rating 1-5 (1 Best: 5 Dead)



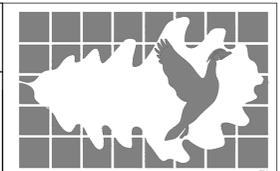
**1 TREE PROTECTION FENCE**  
SCALE: 1 1/2" = 1'-0"

### GENERAL NOTES

- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES FOR THE CITY OF OCONOMOWOC.
- CONTRACTOR RESPONSIBLE FOR JOB SITE SAFETY AND MEANS AND METHODS OF CONSTRUCTION.
- TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, CURBS, ETC.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TAKE NOTE OF ALL GRADING AND DRAINAGE WAYS AND MAINTAIN THESE DRAINAGE WAYS TO FLOW FREE OF OBSTRUCTIONS.
- CONTRACTOR SHALL DISPOSE OF ALL ELEMENTS DESIGNATED FOR REMOVAL IN A LEGAL MANNER.
- APPROXIMATE TOPOGRAPHY AND LOCATION OF UTILITY LINES SHOWN BASED ON PLANS PROVIDED BY OTHERS.
- REMOVE ALL TREES SLATED FOR REMOVAL, INCLUDING GRINDING STUMPS.

### LEGEND

- 498 DESIRABLE TREE TO BE PRESERVED (CIRCLE DIAMETER REPRESENTS CRITICAL ROOT ZONE)
- 499 TREE TO BE REMOVED
- TREE PROTECTION FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY BOUNDARY



**APPLIED ECOLOGICAL SERVICES**  
120 W Main St  
West Dundee, IL 60118  
Office 847-844-9385 Email: info@appliedeco.com  
www.appliedeco.com

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# PABST FARM APARTMENTS

OCONOMOWOC, WI

PABST FARM APARTMENTS, LLC  
Mandell Group  
330 East Kilbourn Ave., Suite 600 S  
Milwaukee, WI 53202

|                      |                       |
|----------------------|-----------------------|
| AES Proj. #:         | 19-0787               |
| Designed By:         | RNR                   |
| Drawn By:            | JRA                   |
| Checked By:          | WCC                   |
| Coordinate System:   | NAD27 WI State Planes |
| Design Firm License: | 744-14                |

| ISSUED FOR |   |          |
|------------|---|----------|
| Date       | Description                                   | Revision |
| 01/13/2020 | CONCEPTUAL LANDSCAPE PLAN                     |          |
| 02/27/2020 | CITY OF OCONOMOWOC TECHNICAL REVIEW SUBMITTAL |          |
| 04/15/2020 | CITY OF OCONOMOWOC TECHNICAL REVIEW SUBMITTAL |          |

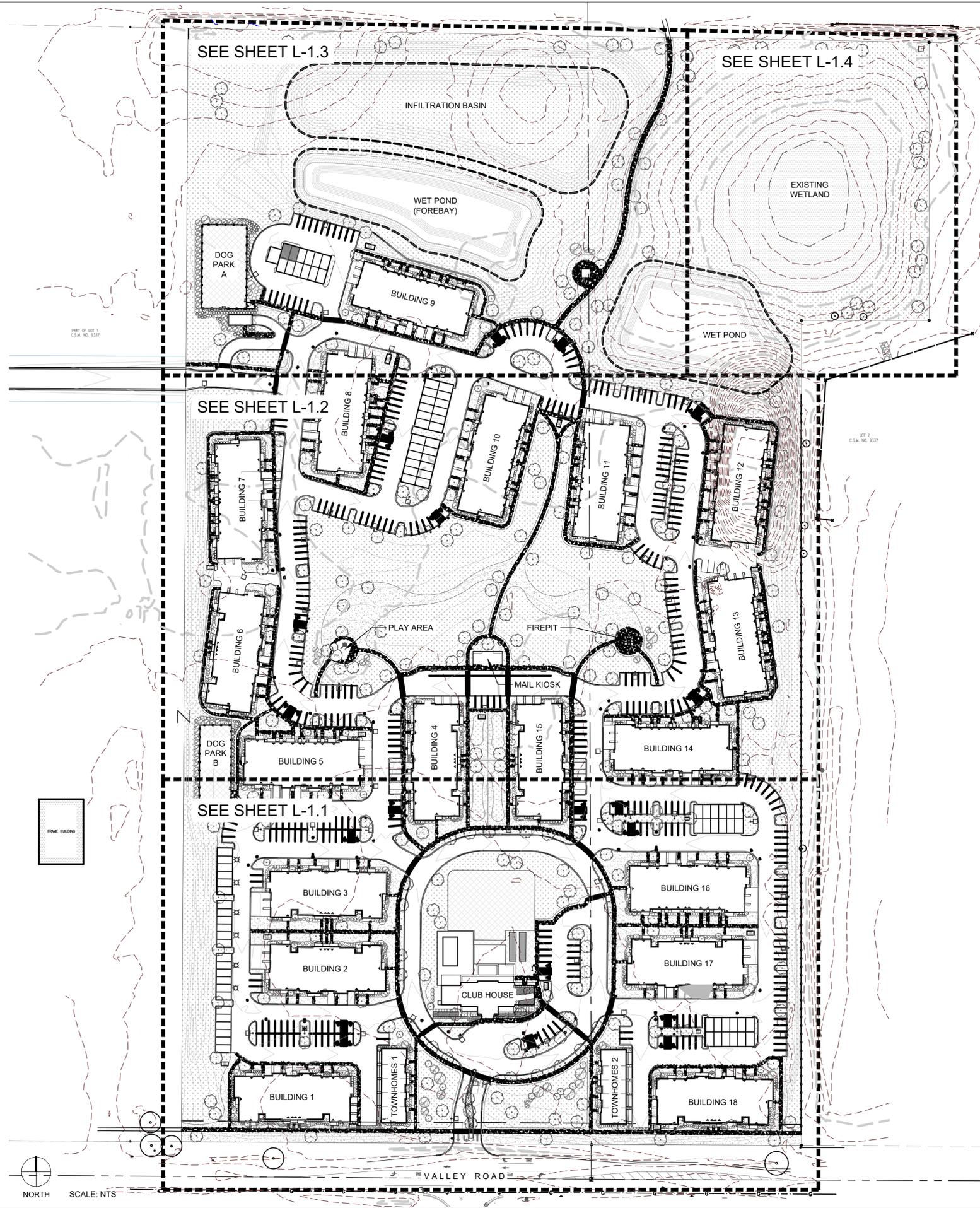
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DATED: SHEET TITLE

**Tree Preservation Plan**

SHEET NUMBER

**TP-1.0**



### GENERAL NOTES

1. CONTRACTOR SHALL CONTACT DIGGER'S LOCATE SERVICE (811) TO FIELD VERIFY UTILITIES PRIOR TO ANY CONSTRUCTION.
2. REFER TO SHEET L-2.3 FOR PLANT SCHEDULE AND CITY OF OCONOMOWOC ZONING ORDINANCE CODE COMPLIANCE WITH SECTION 17-5 LANDSCAPING POINT REQUIREMENTS.
3. REFER TO SHEET L-2.0 FOR PLANTING DETAILS; REFER TO SHEETS L-2.1 AND L-2.2 FOR SITE AMENITY DETAILS.
4. REFER TO SHEET TP-1.0 FOR ALL EXISTING TREE INFORMATION AND REQUIRED TREE REMOVALS.
5. ALL PLANTING BEDS SHALL BE AUGMENTED WITH COMPOST.
6. REFER TO SHEET L-2.4 FOR SEED MIX LISTS. PLACE EROSION MAT IMMEDIATELY AFTER SEED PLACEMENT PER SPECIFICATIONS.
7. WET-MESIC PRAIRIE SEED MIX SHALL BE INSTALLED FROM WATER'S EDGE TO 18" ABOVE NORMAL WATER LEVEL.

### LEGEND

- PROJECT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LIMITS OF IRRIGATION
- PROPOSED FENCE
- WET MESIC PRAIRIE SEED MIX
- SHORT MESIC PRAIRIE SEED MIX
- LOW MAINTENANCE LAWN SEED MIX
- SODDED TURF GRASS
- EXISTING TREE TO REMAIN
- CANOPY TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- SITE LIGHTING, SEE LIGHTING SHEETS FOR DETAILS



**APPLIED ECOLOGICAL SERVICES**  
 120 W Main St  
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# PABST FARM APARTMENTS

OCONOMOWOC, WI

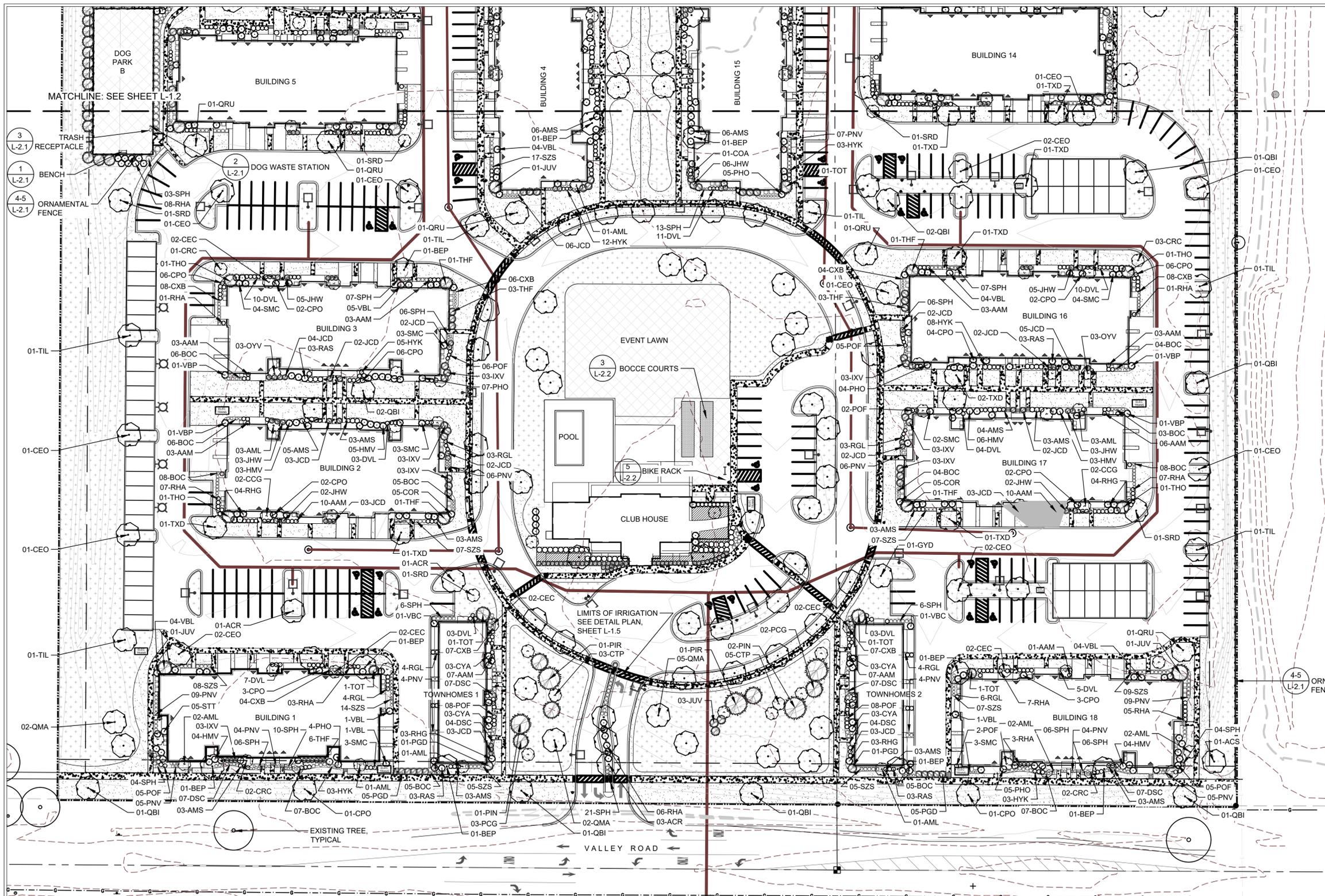
PABST FARM APARTMENTS, LLC  
 Mandel Group  
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| DATED:       | SHEET TITLE  |
|              | Overall Plan |
| SHEET NUMBER |              |
| L-1.0        |              |

NORTH  
 SCALE: NTS



### LEGEND

- PROJECT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LIMITS OF IRRIGATION
- PROPOSED FENCE
- WET MESIC PRAIRIE SEED MIX
- SHORT MESIC PRAIRIE SEED MIX
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DATED: SHEET TITLE

Landscape Plan

SHEET NUMBER

L-1.1



**LEGEND**

- PROJECT BOUNDARY
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LIMITS OF IRRIGATION
- PROPOSED FENCE
- [Pattern] WET MESIC PRAIRIE SEED MIX
- [Pattern] SHORT MESIC PRAIRIE SEED MIX
- [Pattern] LOW MAINTENANCE LAWN SEED MIX
- [Pattern] SODDED TURF GRASS
- EXISTING TREE TO REMAIN
- CANOPY TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- [Pattern] PERENNIALS
- ⊞ SITE LIGHTING, SEE LIGHTING SHEETS FOR DETAILS



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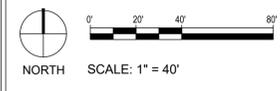
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DATED: SHEET TITLE

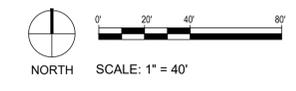
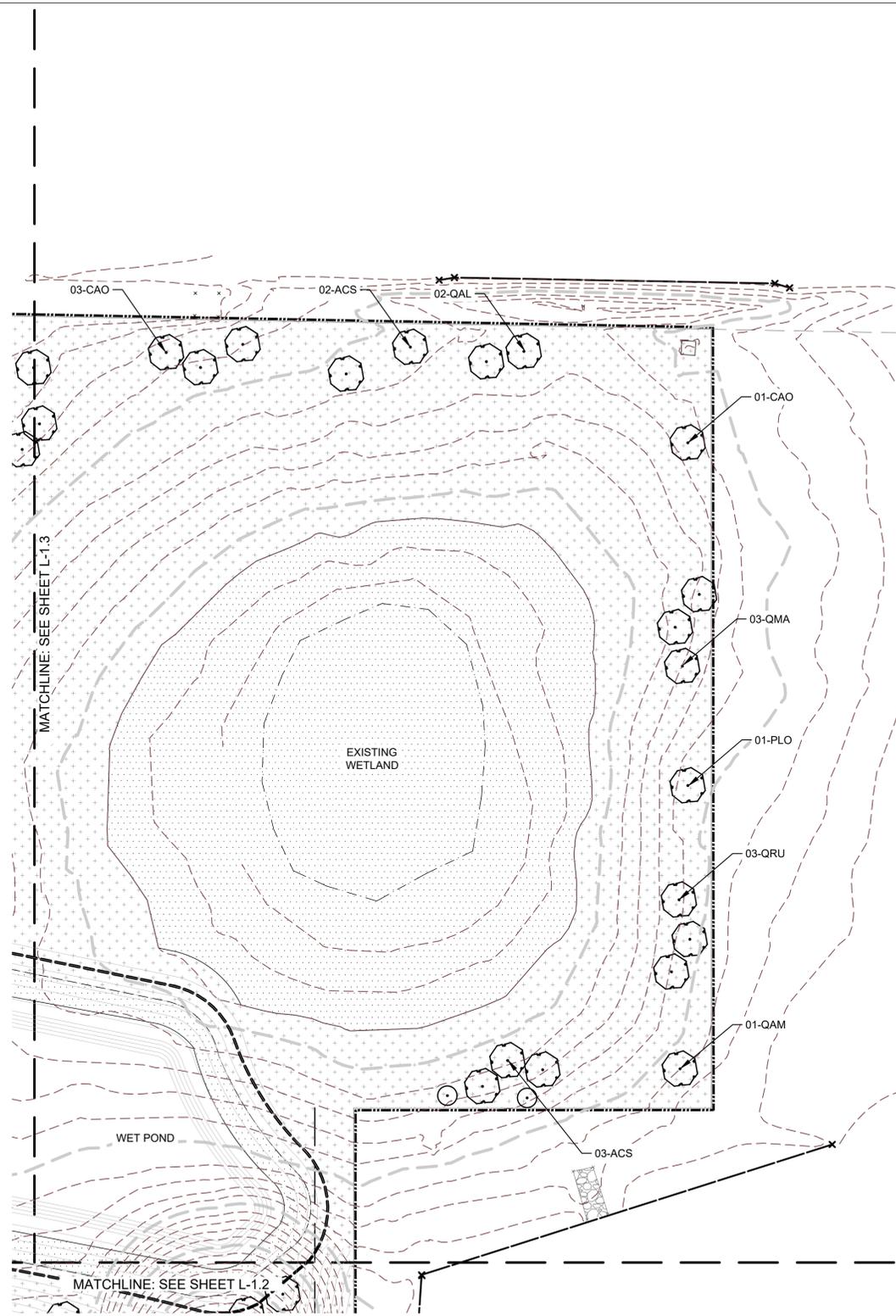
**Landscape Plan**

SHEET NUMBER

**L-1.2**







### LEGEND

- PROJECT BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LIMITS OF IRRIGATION
- PROPOSED FENCE
- WET MESIC PRAIRIE SEED MIX
- SHORT MESIC PRAIRIE SEED MIX
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- EVERGREEN SHRUBS
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- PERENNIALS
- SITE LIGHTING, SEE LIGHTING SHEETS FOR DETAILS



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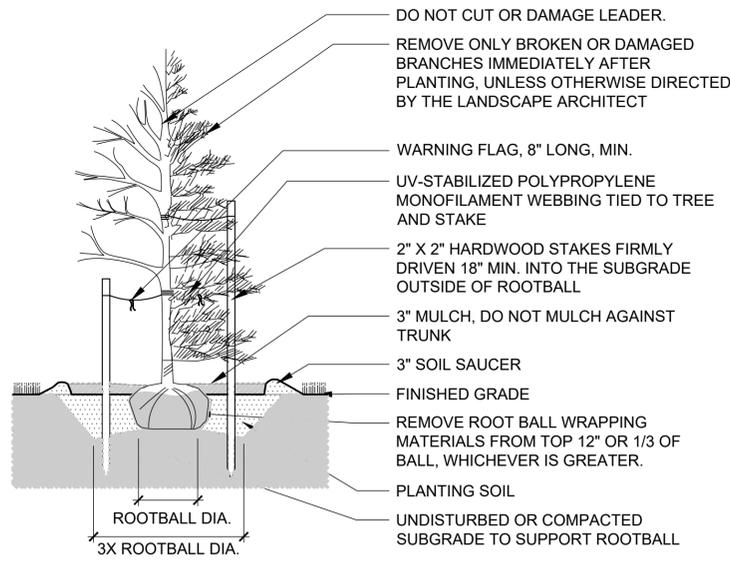
DATED: SHEET TITLE

Landscape Plan

SHEET NUMBER

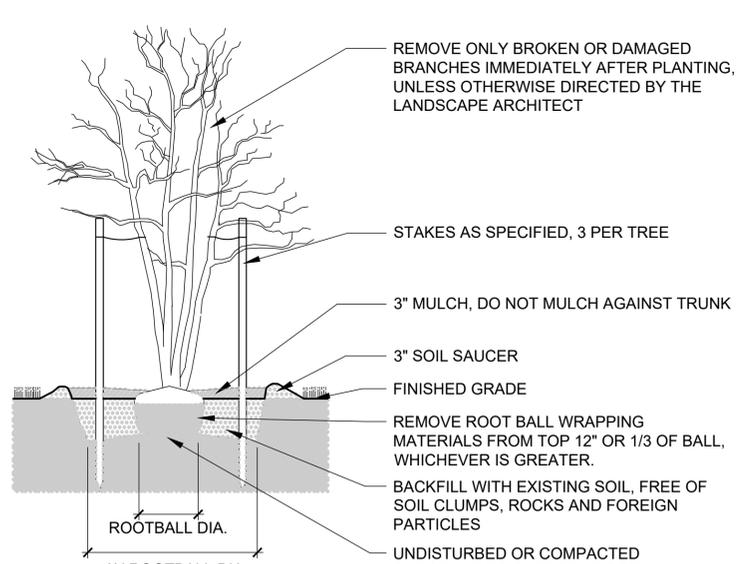
**L-1.4**





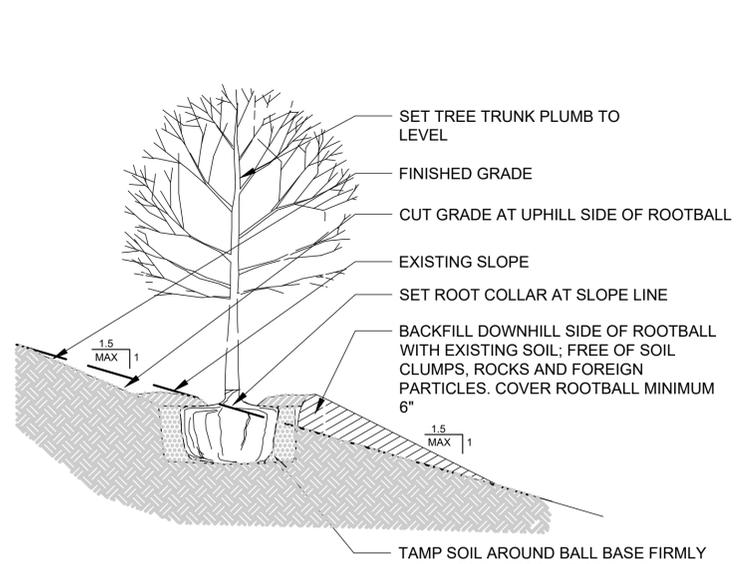
- NOTES:**
- EXCAVATE TREE PIT AND SCARIFY EDGES TO ASSIST ROOT DEVELOPMENT.
  - SET TOP OF BALL 2" - 3" ABOVE FINISHED GRADE. DO NOT BACKFILL OVER TOP OF ROOTBALL.
  - REMOVE ROOT BALL WRAPPING MATERIALS (BURLAP, TWINE, WIRE BASKET, ETC) AFTER TREE IS SET IN PLACE. REMOVE SYNTHETIC WRAPPING COMPLETELY.
  - LEAVE MONOFILAMENT WEBBING SLIGHTLY SLACK TO ALLOW TREE TO SWAY IN THE WIND.

**1 CANOPY / EVERGREEN TREE PLANTING** N.T.S.



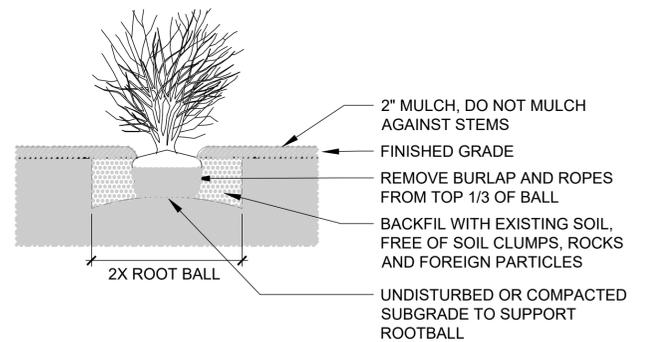
- NOTES:**
- EXCAVATE TREE PIT AND SCARIFY EDGES TO ASSIST ROOT DEVELOPMENT.
  - SET TOP OF ROOT BALL 2 - 3" ABOVE FINISH GRADE. DO NOT BACKFILL OVER TOP OF BALL.
  - REMOVE ROOT BALL WRAPPING MATERIALS (BURLAP, TWINE, WIRE BASKET, ETC) AFTER TREE IS SET IN PLACE. REMOVE SYNTHETIC WRAPPING COMPLETELY.

**2 ORNAMENTAL TREE PLANTING** N.T.S.



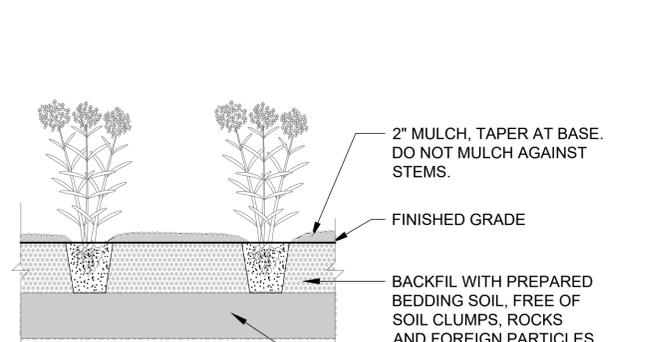
- NOTES:**
- REFER TO VARIOUS SPECIFIC TREE INSTALLATION DETAILS FOR STAKING, GUYING MULCHING, ETC.
  - THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES TO A MAXIMUM OF 3:1.

**3 PLANTING ON SLOPES (TREES AND SHRUBS)** N.T.S.



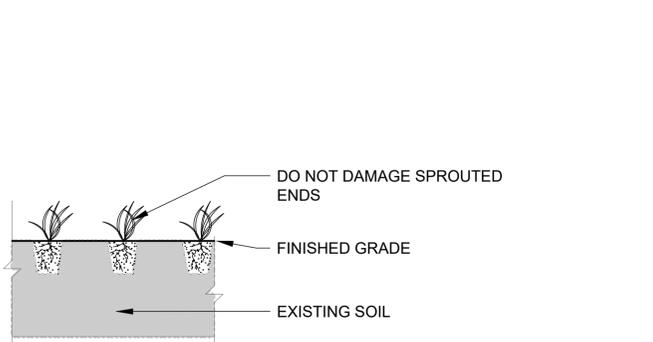
- NOTES:**
- REMOVE ROOT BALL CONTAINER. PLANT EACH SHRUB SUCH THAT THE ROOT COLLAR IS VISIBLE AT THE TOP OF THE ROOTBALL. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.
  - FOR B&B SHRUBS, REMOVE ROOT BALL WRAPPING MATERIALS (BURLAP, TWINE, WIRE BASKET, ETC).
  - SCARIFY EDGES OF PLANTING PIT.

**4 SHRUB PLANTING** N.T.S.



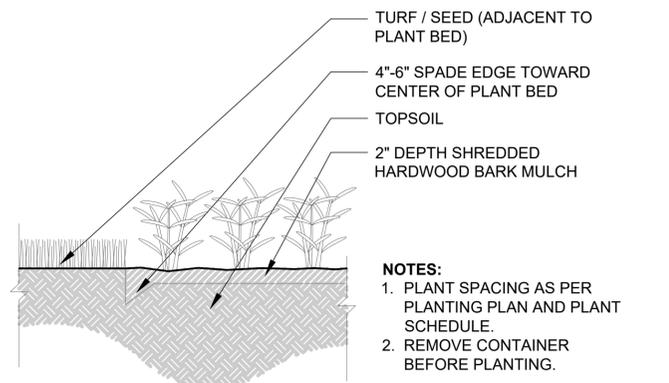
- NOTES:**
- PLANT SPACING AS PER PLANTING PLAN AND PLANT SCHEDULE.
  - REMOVE CONTAINER BEFORE PLANTING.

**5 PERENNIAL PLANTING** N.T.S.

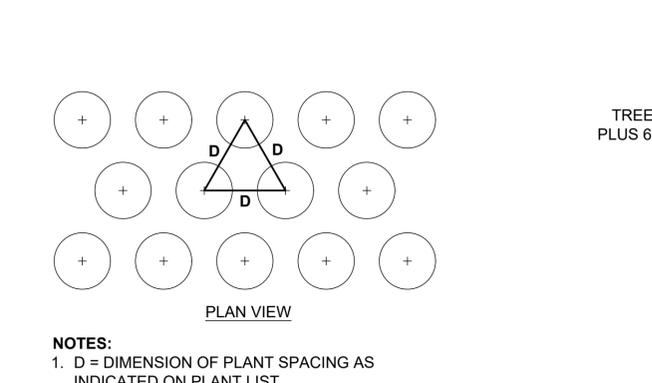


- NOTE:**
- PLANT SPACING AS PER PLANTING PLAN AND PLANT SCHEDULE.
  - INSTALL AQUATIC PLANTS FIRMLY INTO THE SOIL.
  - PLANT EACH PLUG OR ROOTSTOCK INTO THE SOIL UP TO THE SHOOT COLLAR OF THE PLANT. DO NOT BURY THE ENTIRE PLANT OR DAMAGE SPROUTED VEGETATION.

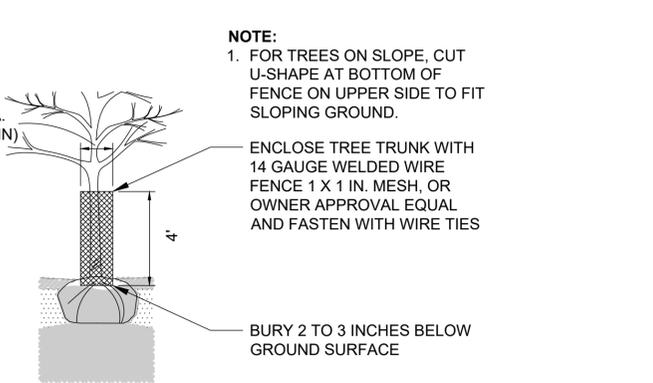
**6 HERBACEOUS LIVE PLUG PLANTING** N.T.S.



**7 LANDSCAPE BED EDGE** N.T.S.



**8 PLANT SPACING** N.T.S.



**9 TREE TRUNK PROTECTION DETAIL** N.T.S.



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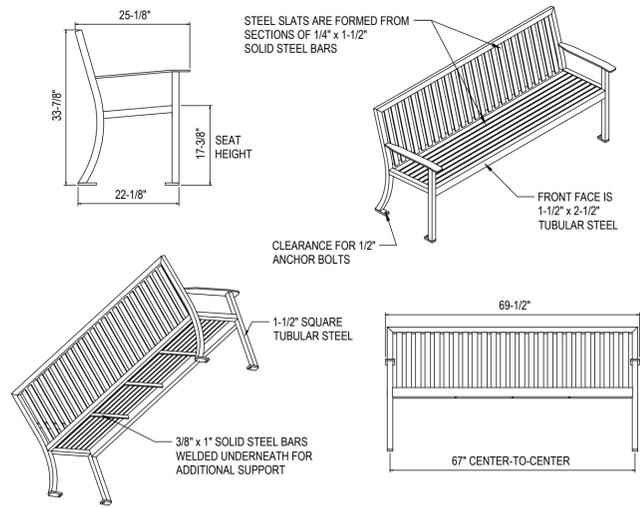
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**Landscape Details**

SHEET NUMBER

**L-2.0**

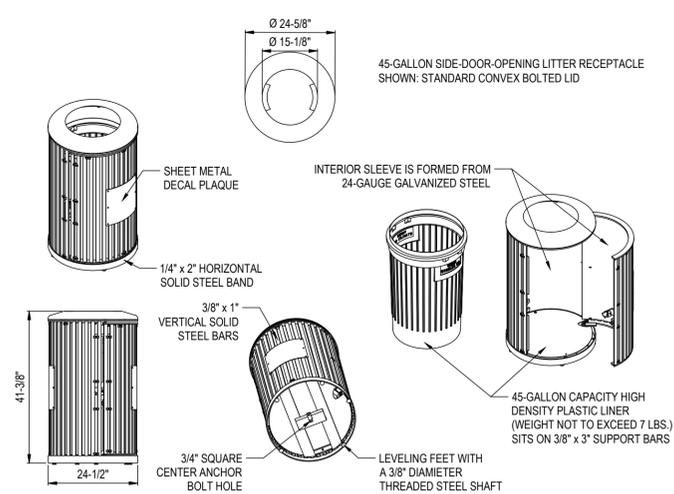


- NOTES:
1. PRODUCT SHALL BE RMS-24 STEELITES™ RB SERIES BENCH, OR APPROVED EQUIVALENT.
  2. SIZE: 6' LENGTH
  3. COLOR: BLACK
  4. FINISH: HOT DIPPED GALVANIZED, POWDER COATED.
  5. CONTACT: VICTOR STANLEY, 1-800-368-2573 X 365, WWW.VICTORSTANLEY.COM
  6. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

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*Manufacturers of Quality Site Furnishings since 1962*  
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 REV. 11/15/10 DRAWN R.J.C. 2010-12



- NOTES:
1. CONTRACTOR TO PROVIDE THE SENTRY® DOG WASTE STATION, MODEL JJB004-BLACK, SINGLEPUL SYSTEM, INGROUND STATION, OR APPROVED EQUIVALENT.
  2. COLOR: BLACK
  3. MANUFACTURED BY ZEROWASTE USA, 12316 WORLD TRADE DRIVE #102, SAN DIEGO, CA 92128, WWW.ZEROWASTEUSA.COM
  4. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



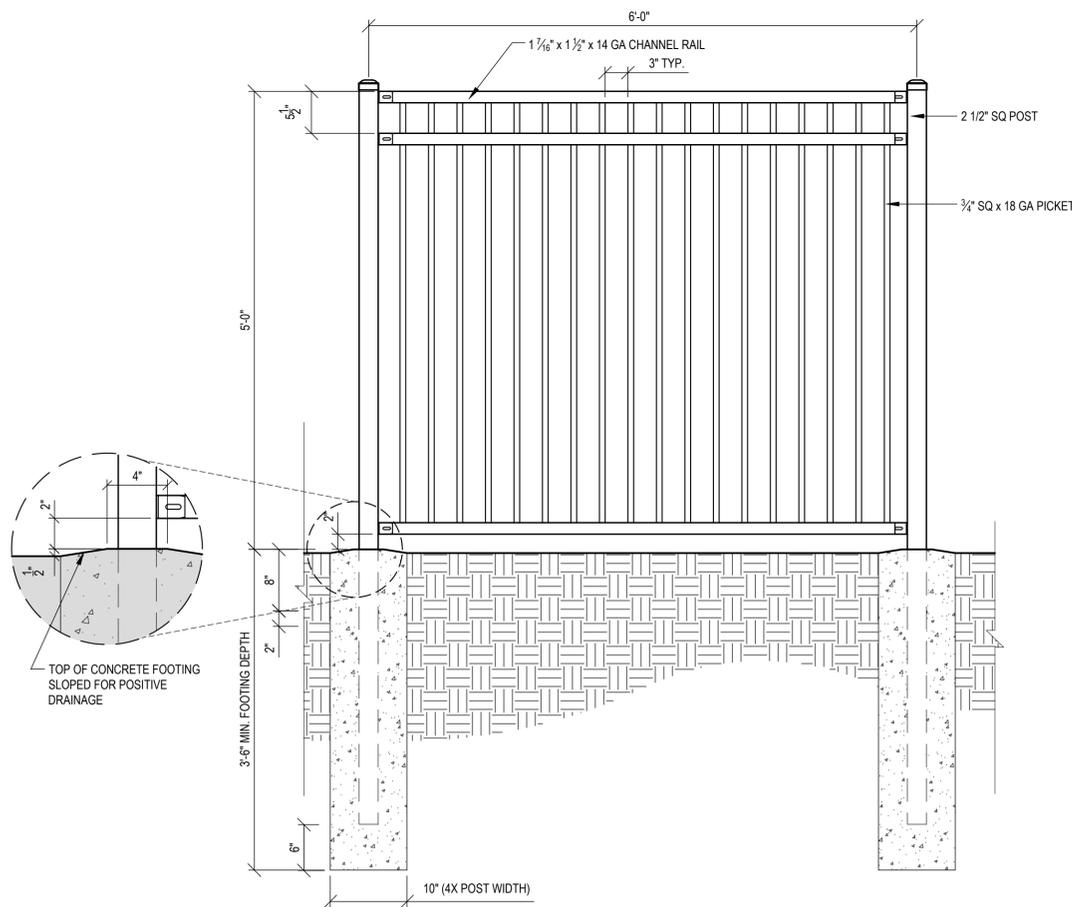
- NOTES:
1. PRODUCT SHALL BE: NSDC-45 STEELITES™ SERIES TRASH RECEPTACLE OR APPROVED EQUIVALENT
  2. COLOR: BLACK
  3. OPTIONS: STANDARD WIDE MOUTH CONVEX BOLTED LID (AS SHOWN), STANDARD WITH INTERNAL LATCH (AS SHOWN), WITH STANDARD LINER
  4. FINISH: HOT DIPPED GALVANIZED, POWDER COATED
  5. CONTACT: VICTOR STANLEY, 1-800-368-2573 X 365, WWW.VICTORSTANLEY.COM
  6. INSTALL PER MANUFACTURER'S SPECIFICATIONS

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**1 BENCH**

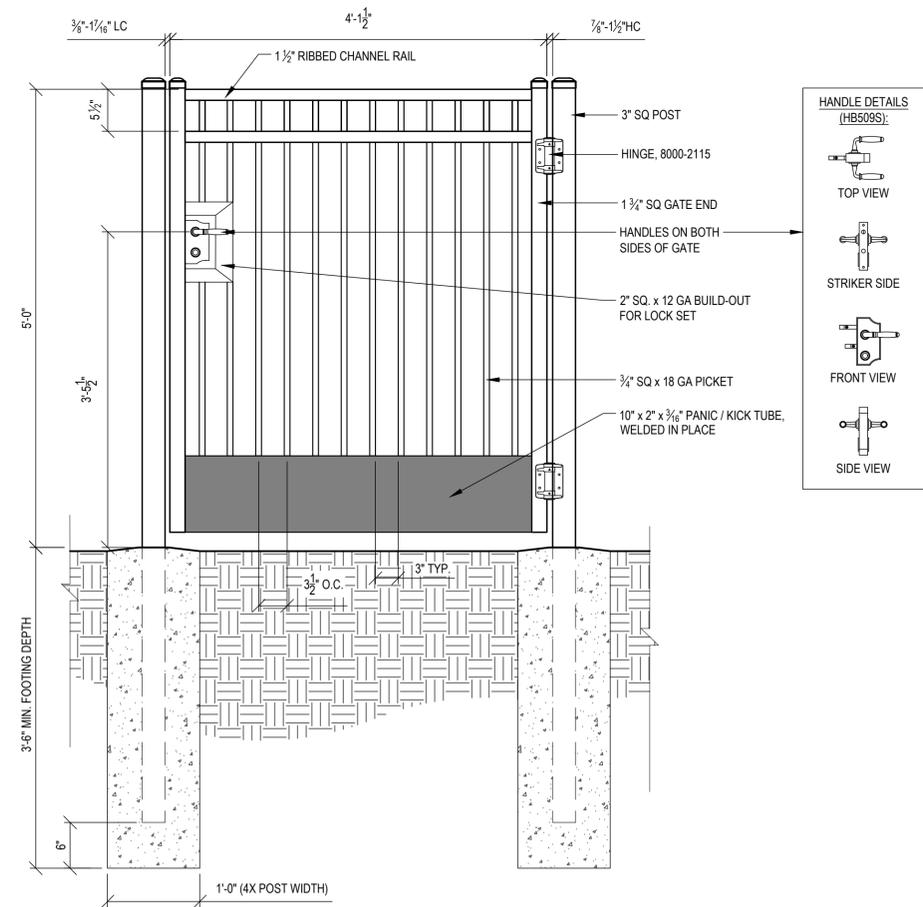
**2 DOG WASTE STATION**

**3 TRASH RECEPTACLE**



- FENCE NOTES:
1. FENCE SHALL BE 5' HEIGHT
  2. PROVIDE PET PICKET AIRSPACE (3") AND BOTTOM RAIL FLUSH W/PICKETS
  3. FENCE SHALL BE INSTALLED PER PLANS
  4. FENCE SHALL BE RACKABLE TO ALLOW FENCE TO FOLLOW GRADE
  5. SUBMIT SHOP DRAWINGS FOR REVIEW

**4 ORNAMENTAL FENCE**



- GATE NOTES:
1. GATE SHALL MATCH 5' HEIGHT FENCE
  2. PROVIDE PET PICKET AIRSPACE (3") AND BOTTOM RAIL FLUSH W/PICKETS
  3. GATE 4' WIDE
  4. WITH SELF-CLOSING HINGES AND HARDWARE ACCESSIBLE FROM BOTH SIDES OF GATE
  5. KICK TUBE AT BOTTOM OF GATE, 10" FROM FINISH GRADE MINIMUM

**5 ORNAMENTAL SINGLE SWING GATE**



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DATED: SHEET TITLE

**Site Details**

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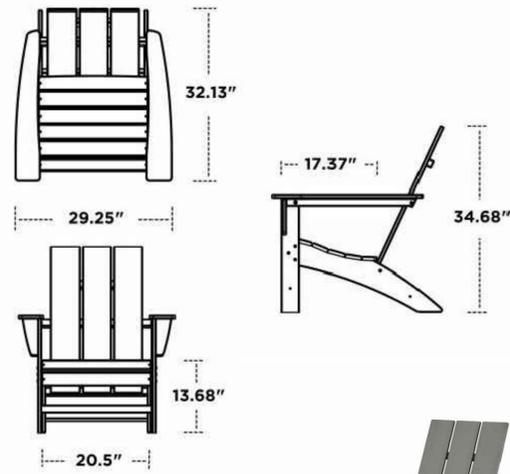
**L-2.1**



- NOTES:
1. CONTRACTOR TO PROVIDE NECESSARIES VICTORIAN FIRE PIT KIT, OR APPROVED EQUIVALENT.
  2. COLOR: SANTA FE
  3. AVAILABLE FROM WOODLAND DIRECT, 844-251-9426, WWW.WOODLANDDIRECT.COM
  4. INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE DRAINAGE TO ADJACENT PLANTING AREA PER MANUFACTURER'S RECOMMENDATIONS.

**1 FIRE PIT**

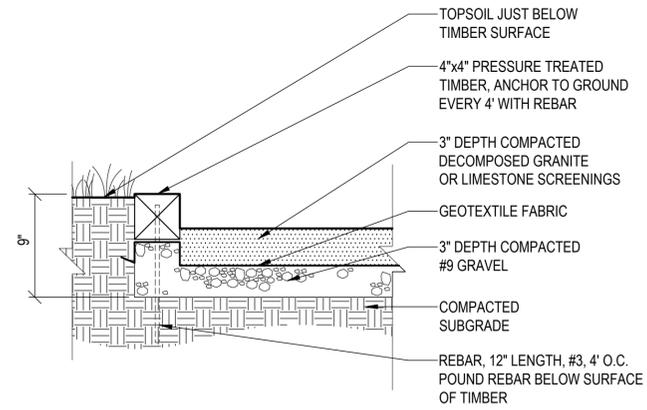
NTS



- NOTES:
1. CONTRACTOR TO PROVIDE MODERN ADIRONDACK CHAIR, OR APPROVED EQUIVALENT.
  2. COLOR: SLATE GREY
  3. MANUFACTURED BY POLYWOOD 855-935-5550, WWW.POLYWOOD.COM

**2 FREESTANDING CHAIRS**

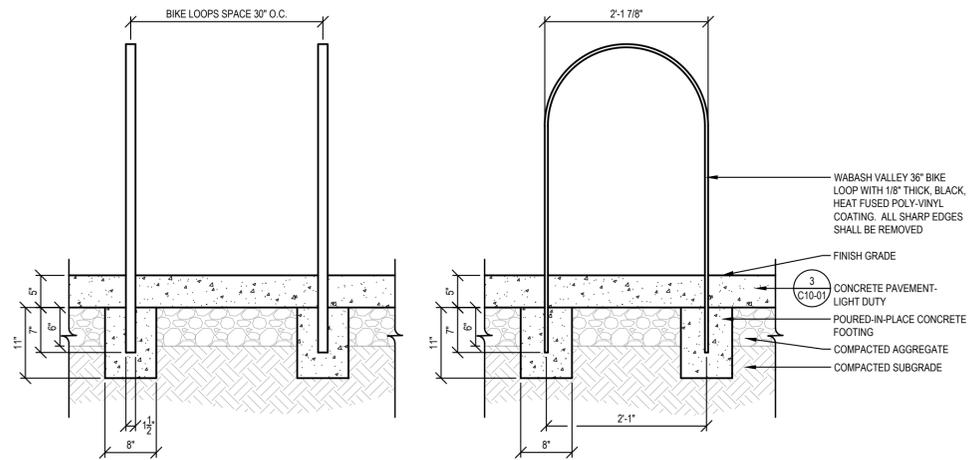
NTS



- NOTES:
1. BOCCIE COURT DIMENSIONS AS SHOWN ON PLAN
  2. CONNECT TIMBER ENDS WITH MINIMUM 4" MENDING PLATES
  3. DRAINAGE LINE MAY BE REQUIRED; PROVIDE 4" ADS PERFORATED PIPE ALONG LENGTH OF BOCCIE COURT, RUN TO DAYLIGHT IN THE PRAIRIE AREA EAST OF THE EVENT LAWN

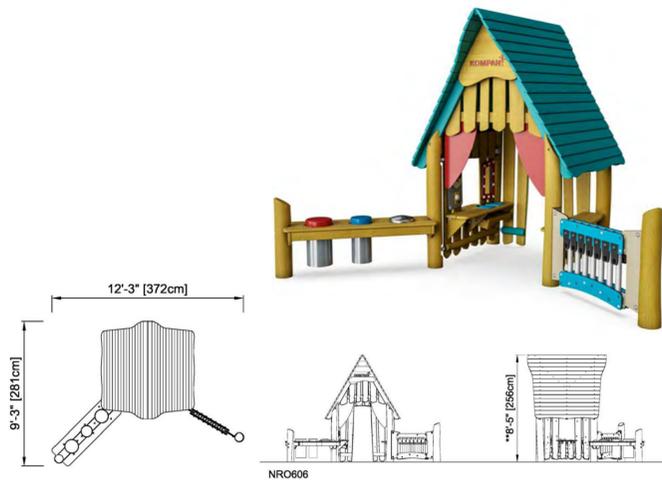
**3 BOCCIE COURT**

1 1/2"=1'-0"



**5 BIKE RACK**

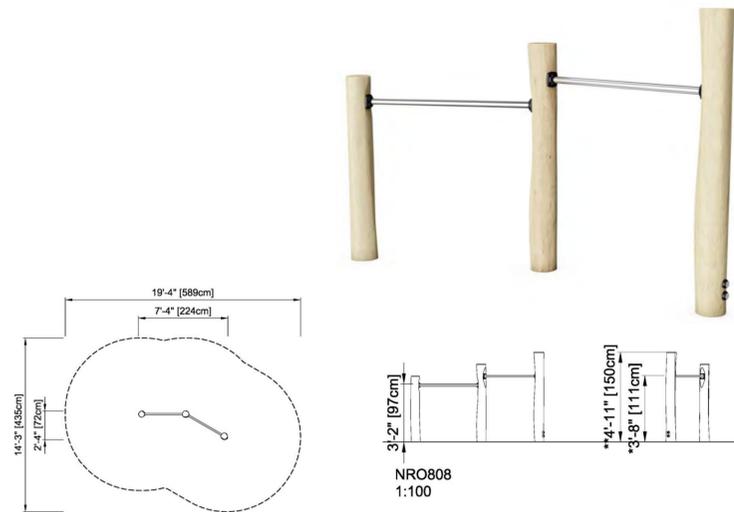
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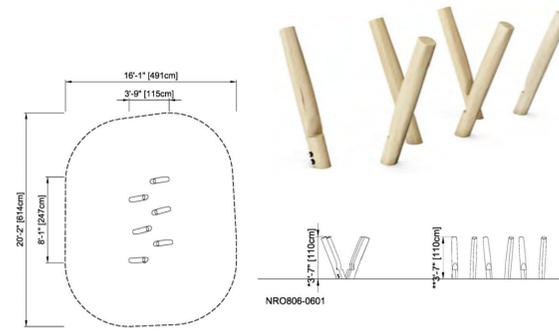
- NOTES:
1. CONTRACTOR TO PROVIDE ROBINIA THEATER & MUSICAL COTTAGE NRO606, OR APPROVED EQUIVALENT.
  2. MANUFACTURED BY KOMPAN, 800-426-9788, WWW.KOMPAN.US
  3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**4 PLAY EQUIPMENT**

NTS



- NOTES:
1. CONTRACTOR TO PROVIDE DOUBLE SOMERSAULT BARS NRO808, OR APPROVED EQUIVALENT.
  2. MANUFACTURED BY KOMPAN, 800-426-9788, WWW.KOMPAN.US
  3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



- NOTES:
1. CONTRACTOR TO PROVIDE STILTS NRO606, OR APPROVED EQUIVALENT.
  2. MANUFACTURED BY KOMPAN, 800-426-9788, WWW.KOMPAN.US
  3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.



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**PABST FARM APARTMENTS**

OCONOMOWOC, WI

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Milwaukee, WI 53202

|                      |                       |
|----------------------|-----------------------|
| AES Proj. #:         | 19-0787               |
| Designed By:         | RNR                   |
| Drawn By:            | JRA                   |
| Checked By:          | WCC                   |
| Coordinate System:   | NAD27 WI State Planes |
| Design Firm License: | 744-14                |

| ISSUED FOR |   |          |
|------------|---|----------|
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| 02/27/2020 | CITY OF OCONOMOWOC TECHNICAL REVIEW SUBMITTAL |          |
| 04/15/2020 | CITY OF OCONOMOWOC TECHNICAL REVIEW SUBMITTAL |          |

STAMPED

DATED: SHEET TITLE

**Site Details**

SHEET NUMBER

**L-2.2**

PLANT LIST

| Symbol | QTY | SYM                             | Scientific Name             | Common Name      | Approx. Mature Size (in feet) |       | Points            | Size   | Points Subtotal |
|--------|-----|---------------------------------|-----------------------------|------------------|-------------------------------|-------|-------------------|--------|-----------------|
|        | 150 |                                 | CLILMAX TREES               |                  |                               |       | 125               | 3" cal | 18,750          |
|        | 22  | ACS                             | Acer saccharum              | Sugar Maple      | 40-80                         | 30-60 |                   |        |                 |
|        | 20  | CAO                             | Carya ovata                 | Shagbark Hickory | 70-90                         | 50-70 |                   |        |                 |
|        | 16  | QAL                             | Quercus alba                | White Oak        | 50-80                         | 50-80 |                   |        |                 |
|        | 28  | QBI                             | Quercus bicolor             | Swamp White Oak  | 50-60                         | 50-60 |                   |        |                 |
|        | 29  | QMA                             | Quercus macrocarpa          | Bur Oak          | 60-80                         | 60-80 |                   |        |                 |
|        | 35  | QRU                             | Quercus rubra               | Red Oak          | 50-75                         | 50-75 |                   |        |                 |
|        | 117 |                                 | TALL DECIDUOUS TREES        |                  |                               |       | 55                | 2" cal | 6,435           |
|        | 20  | ACR                             | Acer rubrum                 | Red Maple        | 40-70                         | 30-50 |                   |        |                 |
|        | 28  | CEO                             | Celtis occidentalis         | Common Hackberry | 40-60                         | 40-60 |                   |        |                 |
| 15     | GYD | Gymnocladus dioica              | Kentucky Coffeetree         | 60-80            | 40-55                         |       |                   |        |                 |
| 8      | PLO | Platanus occidentalis           | American Sycamore           | 75-100           | 75-100                        |       |                   |        |                 |
| 27     | TXD | Taxodium dislichum              | Baldcypress                 | 50-70            | 20-45                         |       |                   |        |                 |
| 19     | TIL | Tilia americana                 | American Linden             | 50-80            | 30-50                         |       |                   |        |                 |
| 24     |     | MEDIUM DECIDUOUS TREES          |                             |                  |                               | 25    | 7' ht. or 2.0" ca | 600    |                 |
| 8      | BEN | Betula nigra                    | River Birch                 | 40-70            | 40-60                         |       |                   |        |                 |
| 16     | BEP | Betula papyrifera               | Paper Birch                 | 50-70            | 25-50                         |       |                   |        |                 |
| 131    |     | LOW DECIDUOUS TREES             |                             |                  |                               | 20    | 6' ht. or 2.5" ca | 2,620  |                 |
| 29     | AML | Amelanchier laevis              | Allegheny Serviceberry      | 15-40            | 15-40                         |       |                   |        |                 |
| 22     | CRC | Carpinus caroliniana            | American Hornbeam           | 20-35            | 20-35                         |       |                   |        |                 |
| 16     | CEC | Cercis canadensis               | Eastern Redbud              | 20-30            | 25-35                         |       |                   |        |                 |
| 15     | COA | Cornus alternifolia             | Pagoda Dogwood              | 15-25            | 20-35                         |       |                   |        |                 |
| 19     | CGG | Crataegus crus-galli            | Thornless Cockspur Hawthorn | 25-35            | 25-35                         |       |                   |        |                 |
| 8      | CTP | Crataegus punctata              | Dotted Hawthorn             | 20-30            | 20-40                         |       |                   |        |                 |
| 14     | OYV | Ostrya virginiana               | Hophornbeam                 | 25-40            | 20-30                         |       |                   |        |                 |
| 8      | SRD | Sorbus decora                   | Showy Mountainash           | 20-30            | 15-20                         |       |                   |        |                 |
| 14     |     | TALL EVERGREEN TREES            |                             |                  |                               | 40    | 5' ht.            | 560    |                 |
| 5      | PCG | Picea glauca                    | White Spruce                | 40-60            | 10-20                         |       |                   |        |                 |
| 5      | PIR | Pinus resinosa                  | Red Pine                    | 50-80            | 20-25                         |       |                   |        |                 |
| 4      | PIN | Pinus strobus                   | Eastern White Pine          | 50-80            | 20-40                         |       |                   |        |                 |
| 15     |     | MEDIUM EVERGREEN TREES          |                             |                  |                               | 20    | 4' ht.            | 300    |                 |
| 15     | THO | Thuja occidentalis              | American Arborvitae         | 40-60            | 10-15                         |       |                   |        |                 |
| 138    |     | LOW EVERGREEN TREES             |                             |                  |                               | 10    | 3' ht.            | 1,380  |                 |
| 12     | JUV | Juniperus virginiana            | Eastern Red Cedar           | 30-65            | 8-25                          |       |                   |        |                 |
| 26     | PGD | Picea glauca 'Densata'          | Black Hills Spruce          | 20-40            | 10-15                         |       |                   |        |                 |
| 29     | THF | Thuja occidentalis 'Fastigiata' | Pyramidal Arborvitae        | 10-15            | 3-5                           |       |                   |        |                 |
| 71     | TOT | Thuja occidentalis 'Techny'     | Techny Arborvitae           | 15-20            | 5-10                          |       |                   |        |                 |

| Symbol | QTY | SYM                                | Scientific Name            | Common Name         | Approx. Mature Size (in feet) |       | Points           | Size    | Points Subtotal |
|--------|-----|------------------------------------|----------------------------|---------------------|-------------------------------|-------|------------------|---------|-----------------|
|        | 221 |                                    | TALL DECIDUOUS SHRUBS      |                     |                               |       | 5                | 36" ht. | 1,105           |
|        | 10  | COR                                | Cornus racemosa            | Gray Dogwood        | 10-15                         | 10-15 |                  |         |                 |
|        | 29  | HMV                                | Hamamelis virginiana       | Common Witchhazel   | 15-20                         | 15-20 |                  |         |                 |
|        | 93  | PHO                                | Physocarpus opulifolius    | Eastern Ninebark    | 5-10                          | 5-10  |                  |         |                 |
|        | 19  | RHG                                | Rhus glabra                | Smooth Sumac        | 9-15                          | 9-15  |                  |         |                 |
|        | 5   | STT                                | Staphylea trifolia         | American Bladdernut | 10-15                         | 10-15 |                  |         |                 |
|        | 61  | VBL                                | Viburnum lentago           | Nannyberry Viburnum | 14-16                         | 6-12  |                  |         |                 |
|        | 4   | VBP                                | Viburnum prunifolium       | Blackhaw Viburnum   | 12-15                         | 6-12  |                  |         |                 |
|        | 191 |                                    | MEDIUM DECIDUOUS SHRUBS    |                     |                               |       | 3                | 24" ht. | 573             |
|        | 38  | CPO                                | Cephalanthus occidentalis  | Buttonbush          | 5-12                          | 4-8   |                  |         |                 |
| 12     | CYA | Corylus americana                  | American Hazelnut          | 10-16               | 8-13                          |       |                  |         |                 |
| 44     | IXV | Ilex verticillata                  | Winterberry                | 3-12                | 3-12                          |       |                  |         |                 |
| 12     | RAS | Rosa setigera                      | Prairie Rose               | 6-12                | 8-10                          |       |                  |         |                 |
| 22     | SMC | Sambucus canadensis                | Elderberry                 | 8-10                | 8-10                          |       |                  |         |                 |
| 63     | VBC | Viburnum cassinoides               | Witherod Viburnum          | 5-6                 | 5-6                           |       |                  |         |                 |
| 903    |     | LOW DECIDUOUS SHRUBS               |                            |                     |                               | 1     | 18" ht.          | 903     |                 |
| 125    | AMS | Amelanchier stolonifera            | Running Serviceberry       | 4-5                 | 4-5                           |       |                  |         |                 |
| 190    | AAM | Aronia melanocarpa                 | Black Chokeberry           | 3-6                 | 3-6                           |       |                  |         |                 |
| 202    | DVL | Diervilla lonicera                 | Dwarf Bushhoneysuckle      | 2-3                 | 2-4                           |       |                  |         |                 |
| 205    | HYK | Hypericum kalmianum                | Kalm's St. Johnswort       | 2-3                 | 2-3                           |       |                  |         |                 |
| 41     | POF | Potentilla fruticosa               | Bush Cinquefoil            | 2-4                 | 2-4                           |       |                  |         |                 |
| 106    | RHA | Rhus aromatica                     | Fragrant Sumac             | 3-8                 | 6-8                           |       |                  |         |                 |
| 34     | RGL | Rhus aromatica 'Gro-Low'           | Grow Low Sumac             | 1.5-2               | 6-8                           |       |                  |         |                 |
| 261    |     | MEDIUM EVERGREEN SHRUBS            |                            |                     |                               | 5     | 18" ht. or 18" w | 1,305   |                 |
| 113    | JCD | Juniperus communis depressa        | Oldfield Common Juniper    | 3-4                 | 8-10                          |       |                  |         |                 |
| 148    | JHW | Juniperus horizontalis 'Wisconsin' | Wisconsin Creeping Juniper | 0.5-1               | 5-8                           |       |                  |         |                 |
| 856    |     | ORNAMENTAL GRASSES                 |                            |                     |                               | 0     | Plugs            | -       |                 |
| 128    | BOC | Bouteloua curtipendula             | Side oats grama            | 1.5-2               | 1.5-2                         |       |                  |         |                 |
| 44     | CXB | Carex bicknellii                   | Oval Sedge                 | 1-3                 | 1-3                           |       |                  |         |                 |
| 217    | DSC | Deschampsia cespitosa              | Tufted Hair Grass          | 2-3                 | 1-2                           |       |                  |         |                 |
| 185    | PNV | Panicum virgatum                   | Switchgrass                | 3-6                 | 2-3                           |       |                  |         |                 |
| 130    | SZS | Schizachyrium scoparium            | Little Bluestem            | 2-4                 | 1.5-2                         |       |                  |         |                 |
| 152    | SPH | Sporobolus heterolepis             | Prairie Dropseed           | 2-3                 | 2-3                           |       |                  |         |                 |
| 975    |     | ORNAMENTAL PERENNIALS              |                            |                     |                               | 0     | Plugs            | -       |                 |
| 65     | ALC | Allium cernuum                     | Nodding onion              | 1-1.5               | 0.5-1                         |       |                  |         |                 |
| 65     | ANP | Anemone patens                     | Pasque flower              | 0.5                 | 0.5-1                         |       |                  |         |                 |
| 65     | AST | Asclepias tuberosa                 | Butterfly milkweed         | 2-3                 | 1.5-2                         |       |                  |         |                 |
| 65     | CPP | Coreopsis palmata                  | Prairie coreopsis          | 2-3                 | 1.5-2                         |       |                  |         |                 |
| 65     | DAP | Dalea purpurea                     | Purple prairie clover      | 2-3                 | 0.5-1                         |       |                  |         |                 |
| 65     | DOM | Dodecatheon meadia                 | Shooting star              | 1-1.5               | 0.5-1                         |       |                  |         |                 |
| 65     | ECP | Echinacea pallida                  | Pale purple coneflower     | 2-3                 | 1-1.5                         |       |                  |         |                 |
| 65     | EPU | Echinacea purpurea                 | Purple coneflower          | 3-4                 | 1.5-2                         |       |                  |         |                 |
| 65     | ERY | Eryngium yuccifolium               | Rattlesnake master         | 3-4                 | 1.5-2                         |       |                  |         |                 |
| 65     | GEU | Geum triflorum                     | Prairie smoke              | 1-1.5               | 1-1.5                         |       |                  |         |                 |
| 65     | LIP | Liatris pycnostacha                | Prairie blazing star       | 4-6                 | 1.5-2                         |       |                  |         |                 |
| 65     | PED | Penstemon digitalis                | Foxglove beardtongue       | 1.5-2               | 1.5-2                         |       |                  |         |                 |
| 65     | PXP | Phlox pilosa                       | Downy prairie phlox        | 1.5-2               | 0.5-1                         |       |                  |         |                 |
| 65     | RUH | Ruellia humilis                    | Wild petunia               | 1-1.5               | 1.5-2                         |       |                  |         |                 |
| 65     | SYO | Symphyotrichum olentangense        | Sky blue aster             | 2-3                 | 1-2                           |       |                  |         |                 |

Total Landscape Points Provided: 34,531

|   |           |                                 |
|---|-----------|---------------------------------|
| Total Project Site Area:                        | 1,473,501 | SF                              |
| Pervious Area:                                  | 785,216   | SF                              |
| Impervious Area:                                | 688,285   | SF                              |
| Per 1,000 Square feet                           | 688.3     |                                 |
| Multi-Unit (High) Residential Multiplier (x50): | 34,414    | Total Landscape Points Required |



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DATED: SHEET TITLE

Plant Schedule

SHEET NUMBER

L-2.3

**SHORT MESIC PRAIRIE SEED MIX (12.3 AC)**

| Scientific name                    | Common Name             |
|------------------------------------|-------------------------|
| <b>Grasses &amp; Sedges:</b>       |                         |
| <i>Bouteloua curtipendula</i>      | Side oats grama         |
| <i>Carex bicknellii</i>            | Copper shouldered sedge |
| <i>Panicum virgatum</i>            | Switch grass            |
| <i>Schizachyrium scoparium</i>     | Little bluestem         |
| <b>Total Grasses</b>               |                         |
| <b>Forbs:</b>                      |                         |
| <i>Asclepias incarnata</i>         | Swamp milkweed          |
| <i>Asclepias tuberosa</i>          | Butterfly weed          |
| <i>Coreopsis palmata</i>           | Stiff coreopsis         |
| <i>Echinacea pallida</i>           | Pale purple coneflower  |
| <i>Eryngium yuccifolium</i>        | Rattlesnake master      |
| <i>Liatris pycnostachya</i>        | Prairie blazing star    |
| <i>Lobelia cardinalis</i>          | Cardinal flower         |
| <i>Monarda fistulosa</i>           | Wild bergamot           |
| <i>Oligoneuron riddellii</i>       | Riddell's goldenrod     |
| <i>Penstemon digitalis</i>         | Foxglove beard tongue   |
| <i>Petalostemum purpurea</i>       | Purple prairie clover   |
| <i>Rudbeckia hirta</i>             | Black-eyed Susan        |
| <i>Ratibida pinnata</i>            | Yellow coneflower       |
| <i>Rudbeckia subtomentosa</i>      | Sweet black-eyed Susan  |
| <i>Symphotrichum novae-angliae</i> | New England aster       |
| <i>Tradescantia ohiensis</i>       | Spiderwort              |
| <b>Total Forbs</b>                 |                         |
| <b>Total All Species</b>           |                         |
| <b>Temporary Cover Crop:</b>       |                         |
| <i>Elymus canadensis</i>           | Canada wild rye         |
| <i>Avena sativa</i>                | Common oats             |

**LOW MAINTENANCE LAWN BLEND (3.3 AC)**

| Scientific name                | Common Name         |
|--------------------------------|---------------------|
| <b>Grasses:</b>                |                     |
| <i>Festuca rubra commutata</i> | Chewings Fescue     |
| <i>Festuca rubra</i>           | Creeping Red Fescue |
| <i>Festuca ovina</i>           | Hard Fescue         |
| <i>Festuca glauca</i>          | Blue Fescue         |

**WET-MESIC PRAIRIE SEED MIX (1.6 AC)**

| Scientific name                    | Common Name             |
|------------------------------------|-------------------------|
| <b>Grasses and Sedges:</b>         |                         |
| <i>Andropogon gerardii</i>         | Big bluestem            |
| <i>Bromus ciliatus</i>             | Fringed brome           |
| <i>Calamagrostis canadensis</i>    | Blue joint grass        |
| <i>Carex comosa</i>                | Bristly sedge           |
| <i>Carex scoparia</i>              | Pointed broom sedge     |
| <i>Carex vulpinoidea</i>           | Brown fox sedge         |
| <i>Carex stipata</i>               | Common fox sedge        |
| <i>Elymus canadensis</i>           | Canada wild rye         |
| <i>Elymus virginicus</i>           | Virginia wild rye       |
| <i>Eleocharis obtusa</i>           | Blunt spike rush        |
| <i>Eleocharis erythropoda</i>      | Red rooted spike rush   |
| <i>Glyceria striata</i>            | Fowl mana grass         |
| <i>Juncus dudleyi</i>              | Dudley's rush           |
| <i>Juncus effusus</i>              | Common Rush             |
| <i>Juncus torreyi</i>              | Torrey's rush           |
| <i>Leersia oryzoides</i>           | Rice cut grass          |
| <i>Panicum virgatum</i>            | Switch grass            |
| <i>Scirpus atrovirens</i>          | Dark green rush         |
| <i>Scirpus cyperinus</i>           | Wool grass              |
| <i>Spartina pectinata</i>          | Prairie cord grass      |
| <b>Forbs:</b>                      |                         |
| <i>Alisma subcordatum</i>          | Water plantain          |
| <i>Asclepias incarnata</i>         | Swamp milkweed          |
| <i>Bidens cernua</i>               | Swamp bur marigold      |
| <i>Boltonia asteroides</i>         | False aster             |
| <i>Cacalia plantaginea</i>         | Prairie Indian Plantain |
| <i>Coreopsis tripteris</i>         | Tall coreopsis          |
| <i>Eryngium yuccifolium</i>        | Rattlesnake master      |
| <i>Euthamia graminifolia</i>       | Grass-leaved goldenrod  |
| <i>Eutrochium maculatum</i>        | Spotted Joe-Pye weed    |
| <i>Eupatorium perfoliatum</i>      | Common boneset          |
| <i>Helenium autumnale</i>          | Sneezeweed              |
| <i>Liatris spicata</i>             | Marsh blazing star      |
| <i>Lobelia cardinalis</i>          | Cardinal flower         |
| <i>Lobelia siphilitica</i>         | Great blue lobelia      |
| <i>Lycopus americanus</i>          | Water horehound         |
| <i>Lythrum alatum</i>              | Winged loosestrife      |
| <i>Mimulus ringins</i>             | Monkey flower           |
| <i>Mentha arvensis</i>             | Wild mint               |
| <i>Monarda fistulosa</i>           | Wild bergamot           |
| <i>Oligoneuron riddellii</i>       | Riddell's goldenrod     |
| <i>Penstemon digitalis</i>         | Foxglove beard tongue   |
| <i>Penthorum sedoides</i>          | Ditch stoncrop          |
| <i>Physostegia virginiana</i>      | False dragonhead        |
| <i>Pycnanthemum virginianum</i>    | Common mountain mint    |
| <i>Ratibida pinnata</i>            | Yellow coneflower       |
| <i>Rudbeckia hirta</i>             | Black-eyed Susan        |
| <i>Rudbeckia subtomentosa</i>      | Sweet black-eyed Susan  |
| <i>Senna hebecarpa</i>             | Wild senna              |
| <i>Symphotrichum lanceolatum</i>   | Panicled aster          |
| <i>Symphotrichum novae-angliae</i> | New England aster       |
| <i>Teucrium canadense</i>          | Germander               |
| <i>Verbena hastata</i>             | Blue vervain            |
| <i>Veronica fasciculata</i>        | Common ironweed         |
| <i>Veronicastrum virginiana</i>    | Culver's root           |
| <i>Zizia aurea</i>                 | Golden Alexanders       |



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|            |   |          |

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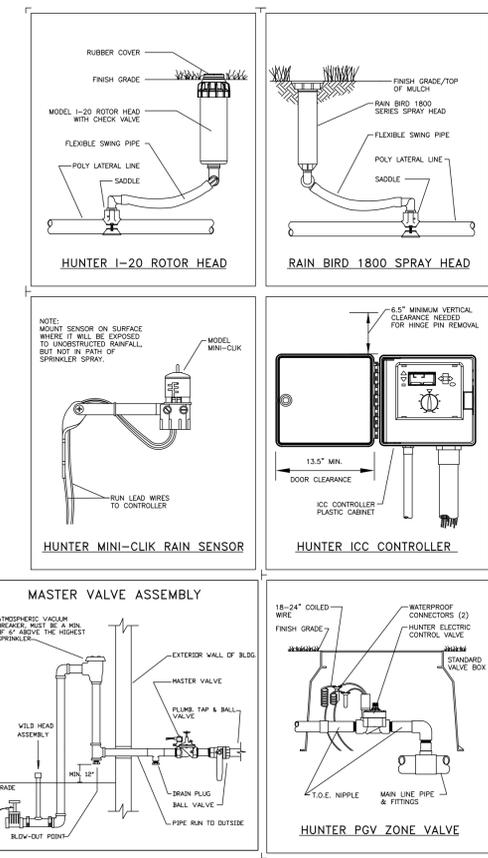
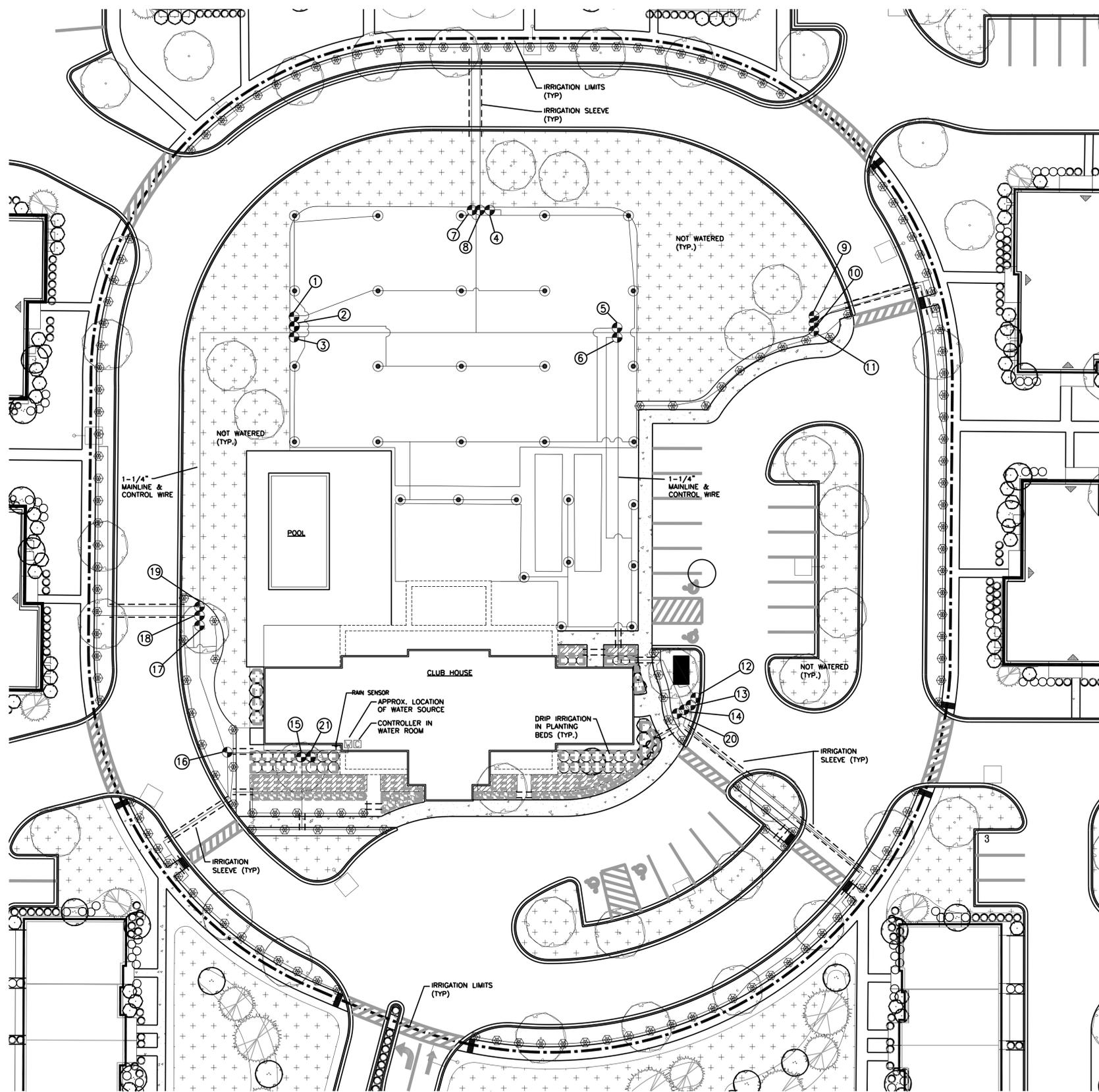
DATED: SHEET TITLE

**Plant Schedule**

SHEET NUMBER

**L-2.4**

| ZONE LEGEND |                 |     |
|-------------|-----------------|-----|
| ZONE        | DESCRIPTION     | GPM |
| 1           | TURF ROTOR      | 18  |
| 2           | TURF ROTOR      | 18  |
| 3           | TURF ROTOR      | 14  |
| 4           | TURF ROTOR      | 14  |
| 5           | TURF ROTOR      | 16  |
| 6           | TURF ROTOR      | 18  |
| 7           | TURF SPRAY      | 17  |
| 8           | TURF SPRAY      | 18  |
| 9           | TURF SPRAY      | 17  |
| 10          | TURF SPRAY      | 16  |
| 11          | TURF SPRAY      | 13  |
| 12          | TURF SPRAY      | 10  |
| 13          | TURF SPRAY      | 13  |
| 14          | TURF SPRAY      | 14  |
| 15          | TURF SPRAY      | 12  |
| 16          | TURF SPRAY      | 15  |
| 17          | TURF SPRAY      | 12  |
| 18          | TURF SPRAY      | 12  |
| 19          | TURF SPRAY      | 12  |
| 20          | DRIP IRRIGATION | 8   |
| 21          | DRIP IRRIGATION | 8   |

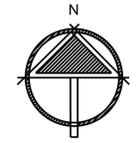


| DESCRIPTION                         |
|-------------------------------------|
| ☐ WATER SOURCE                      |
| ⊙ HUNTER SERIES CONTROLLER          |
| ⊙ HUNTER PGP SERIES TURF ROTORS     |
| ⊙ HUNTER PGV SERIES ZONE VALVE      |
| ⊙ HUNTER MINI-CLIK RAIN SENSOR      |
| ⊙ HUNTER PROSPRAY SERIES SPRAY HEAD |
| ⊙ LOW VOLUME DRIP TUBING            |

ALL PIPING SHOWN ON DRAWING IS DIAGRAMMATIC. PIPE LOCATIONS ARE NOT EXACT AND SHOWN FOR REFERENCE ONLY.



THIS PLAN AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF MILWAUKEE LAWN SPRINKLER CORP AND MAY NOT BE USED IN WHOLE OR PART WITHOUT OUR WRITTEN CONSENT



**Milwaukee Lawn Sprinkler Corp.**  
Since 1974  
N60 W16180 Kohler Lane • Menomonee Falls, WI 53051  
262-252-3880 • www.milwaukee.lawnsprinkler.com

---

**PABST FARMS APARTMENTS**  
MANDEL GROUP  
OCONOMOWOC, WI 53066

---

PROJECT: PABST FARMS APARTMENTS  
DATE: 04-15-20  
SCALE: 1" = 20'  
DESIGN BY: JOHN MICHELS  
PRESSURE: -  
SERVICE: X  
JOB NUMBER: IR-L.0

DATE: 04/16/2020 12:28:20

**SHEET NOTES**

- THIS LIGHTING WAS DESIGNED TO MATCH EXISTING PABST FARM DEVELOPMENT FIXTURE STYLES.
- THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF OCONOMOWOC ZONING ORDINANCE, SECTION 17.211, WITH THE EXCEPTION OF SECTION 17.211(6)(d) CALLING FOR A MINIMUM LIGHT LEVEL OF 0.5FC ON PARKING AND DRIVE LANE SURFACE. TO AVOID NUISANCE LIGHT LEVELS AS DESCRIBED IN SECTION 17.211(6)(e)(1), WE SEEK A VARIANCE TO ALLOW A MINIMUM OF 0.1FC TO AVOID HIGH LIGHT LEVELS ADJACENT TO TENANT UNIT WINDOWS.

**GENERAL NOTES**

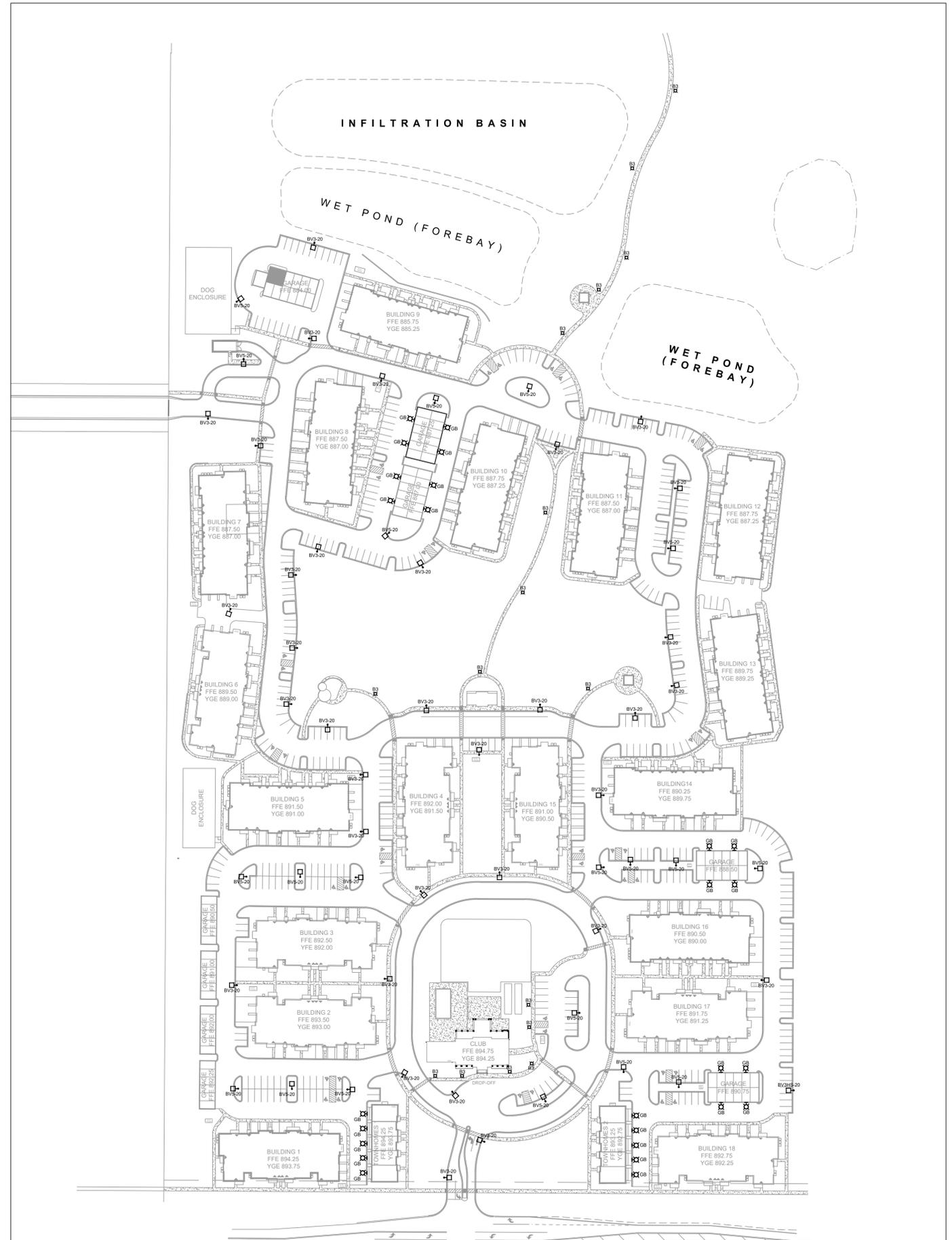
- INSTALL PRIMARY ELECTRICAL CONDUIT, CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE, COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
- COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN IS COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
- ASSUME LIGHTING CONTROL VIA TIMECLOCK AT EACH UNIT BUILDING. FIXTURES TO BE CIRCUITED TO NEAREST UNIT BUILDING HOUSE PANEL. FINAL VOLTAGE YET TO BE DETERMINED.

**SITE LIGHTING FIXTURE SCHEDULE**

| DES.     | DESCRIPTION   | LAMP DATA |                  | VOLT | DEPTH | LIGHTING FIXTURE  |                                 | SURFACE |      |         | RECESS |         |         | SEE NOTE |
|----------|---|-----------|------------------|------|-------|-------------------|---------------------------------|---------|------|---------|--------|---------|---------|----------|
|          |   | NO.       | TYPE             |      |       | MFR.              | CAT. NO.                        | CEILING | WALL | SPECIAL | LAY-IN | CONCEAL | DRYWALL |          |
| BV3-20   | LED PENDANT POLE-MOUNT GOOSENECK, TYPE 3 DIST., BLACK, 20' POLE               | 1         | 80W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CY55P1B-FGC-3-80W-3K-BK-TX      |         |      |         |        |         |         | 1,3,4    |
| BV5-20   | LED PENDANT POLE-MOUNT GOOSENECK, TYPE 5 DIST., BLACK, 20' POLE               | 1         | 80W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CY55P1B-FGC-5-80W-3K-BK-TX      |         |      |         |        |         |         | 1,3,4    |
| BV3HS-20 | LED PENDANT POLE-MOUNT GOOSENECK, TYPE 3 DIST., BLACK, 20' POLE, HOUSE SHIELD | 1         | 80W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CY55P1B-FGC-3HS-80W-3K-BK-TX    |         |      |         |        |         |         | 1,3,4    |
| GB       | GARAGE BUILDING/TOWNHOME WALL SCONCE, BLACK, 10' AFG MOUNTING HEIGHT          | 1         | GUA SOCKET 3000K | 120  | --    | PROGRESS LIGHTING | P5722-71                        |         |      |         |        |         |         | 3,4      |
| BV3      | BOLLARD - ASYMMETRICAL DISTRIBUTION, BLACK                                    | 1         | 30W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CBM1701C-FCF-3-30W-3K-XYZ-BK-TX |         |      |         |        |         |         | 1,3,4    |

**LIGHTING FIXTURE NOTES:**

- PROVIDE CONCRETE POLE BASE.
- PROVIDE PHOTOCELL ON FIXTURE.
- CONTROLLER BY SEPARATE TIMECLOCK.
- \*\*\*NO SUBSTITUTIONS ACCEPTED.\*\*\*



**SITE LIGHTING PLAN**  
1" = 80'-0"  
0' 20' 40' 80' 120'

|  |  |                             |
|--|--|-----------------------------|
| PROJECT NUMBER<br><b>8826</b>  | DATE<br><b>04/16/20</b>                  | SHEET NUMBER<br><b>E100</b> |
| PROJECT LOCATION<br><b>OLD SCHOOL HOUSE ROAD &amp; VALLEY ROAD<br/>OCONOMOWOC, WI</b>          | SHEET TITLE<br><b>SITE LIGHTING PLAN</b> |                             |
| PROJECT DESCRIPTION<br><b>PABST FARMS APARTMENTS<br/>OCONOMOWOC TECHNICAL REVIEW SUBMITTAL</b> | DESIGNED BY<br><b>AMB</b>                | DRAWN BY<br><b>AMB</b>      |
|  | CHECKED BY<br><b>JRH</b>                 | REVISION DESCRIPTION        |
|  |  | NO. DATE                    |

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEHOUND ROAD  
WAUKESHA, WISCONSIN 53226  
PH: (262) 865-1544

**PHOTOMETRIC STATISTICS**

| DESCRIPTION | SYMBOL | AVG    | MIN    | MAX    |
|-------------|--------|--------|--------|--------|
| PARKING     | +      | 1.2 fc | 0.1 fc | 5.9 fc |
| PROPERTY    | +      | 0.0 fc | 0.0 fc | 0.2 fc |

**SHEET NOTES**

- THIS LIGHTING WAS DESIGNED TO MATCH EXISTING PABST FARM DEVELOPMENT FIXTURE STYLES.
- THE LIGHTING DESIGN IS IN COMPLIANCE WITH THE CITY OF OCONOMOWOC ZONING ORDINANCE, SECTION 17.211, WITH THE EXCEPTION OF SECTION 17.211(6)(d) CALLING FOR A MINIMUM LIGHT LEVEL OF 0.5FC ON PARKING AND DRIVE LANE SURFACE. TO AVOID NUISANCE LIGHT LEVELS AS DESCRIBED IN SECTION 17.211(6)(e)(1), WE SEEK A VARIANCE TO ALLOW A MINIMUM OF 0.1FC TO AVOID HIGH LIGHT LEVELS ADJACENT TO TENANT UNIT WINDOWS.

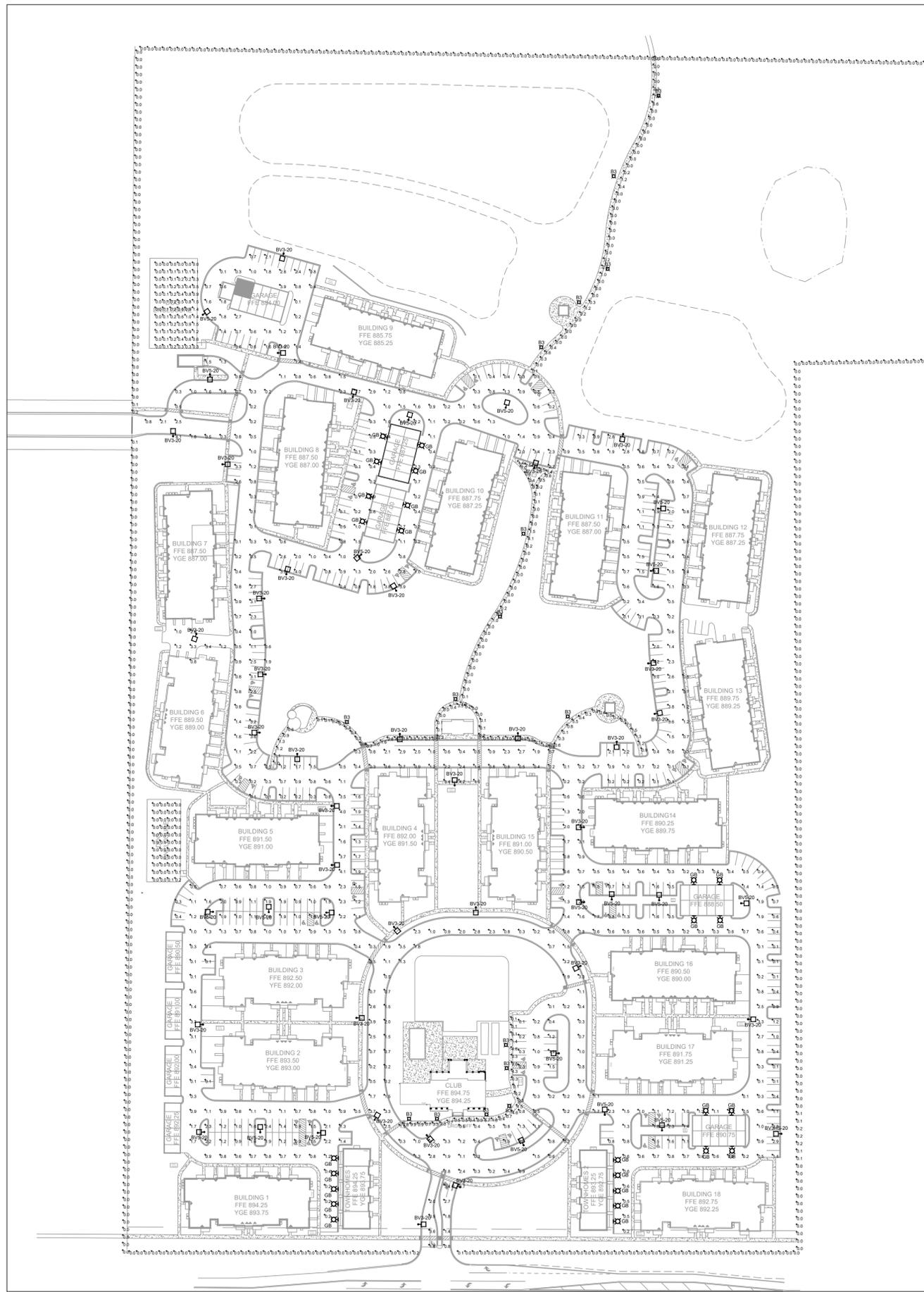
**GENERAL NOTES**

- INSTALL PRIMARY ELECTRICAL CONDUIT, CONDUIT SHALL BE 3 FEET BELOW FINISHED GRADE, COORDINATE ROUTE OF CONDUIT WITH FINAL UTILITY LAYOUT.
- COORDINATE WITH FINAL LANDSCAPING AND APPROVED UTILITY PLANS. DESIGN IS COORDINATED WITH ENGINEERED SITE UTILITY AND LANDSCAPE PLANS.
- ASSUME LIGHTING CONTROL VIA TIMECLOCK AT EACH UNIT BUILDING. FIXTURES TO BE CIRCUITED TO NEAREST UNIT BUILDING HOUSE PANEL. FINAL VOLTAGE YET TO BE DETERMINED.

**SITE LIGHTING FIXTURE SCHEDULE**

| DES.     | DESCRIPTION   | LAMP DATA |                  | VOLT | DEPTH | LIGHTING FIXTURE  |                                 | SURFACE |      |         | RECESS |         |         | SEE NOTE |
|----------|---|-----------|------------------|------|-------|-------------------|---------------------------------|---------|------|---------|--------|---------|---------|----------|
|          |   | NO.       | TYPE             |      |       | MFR.              | CAT. NO.                        | CEILING | WALL | SPECIAL | LAY-IN | CONCEAL | DRYWALL |          |
| BV3-20   | LED PENDANT POLE-MOUNT GOOSENECK, TYPE 3 DIST., BLACK, 20' POLE               | 1         | 80W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CY55P1B-FGC-3-80W-3K-BK-TX      |         |      |         |        |         |         | 1,3,4    |
| BV5-20   | LED PENDANT POLE-MOUNT GOOSENECK, TYPE 5 DIST., BLACK, 20' POLE               | 1         | 80W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CY55P1B-FGC-5-80W-3K-BK-TX      |         |      |         |        |         |         | 1,3,4    |
| BV3HS-20 | LED PENDANT POLE-MOUNT GOOSENECK, TYPE 3 DIST., BLACK, 20' POLE, HOUSE SHIELD | 1         | 80W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CY55P1B-FGC-3HS-80W-3K-BK-TX    |         |      |         |        |         |         | 1,3,4    |
| GB       | GARAGE BUILDING/TOWNHOME WALL SCONCE, BLACK, 10' AFG MOUNTING HEIGHT          | 1         | GUA SOCKET 3000K | 120  | --    | PROGRESS LIGHTING | P5722-71                        |         |      |         |        |         |         | 3,4      |
| BV3      | BOLLARD - ASYMMETRICAL DISTRIBUTION, BLACK                                    | 1         | 30W LED 3000K    | --   | --    | CYCLONE LIGHTING  | CBM1701C-FCF-3-30W-3K-XYZ-BK-TX |         |      |         |        |         |         | 1,3,4    |

- LIGHTING FIXTURE NOTES:**
- PROVIDE CONCRETE POLE BASE.
  - PROVIDE PHOTOCELL ON FIXTURE.
  - CONTROLLER BY SEPARATE TIMECLOCK.
  - \*\*\*NO SUBSTITUTIONS ACCEPTED.\*\*\*



SITE LIGHTING PHOTOMETRIC PLAN  
1" = 80'-0"  
0' 20' 40' 80' 120'

|                      |   |          |          |
|----------------------|---|----------|----------|
| PROJECT NUMBER       | 8826  | DATE     | 04/16/20 |
| PROJECT LOCATION     | OLD SCHOOL HOUSE ROAD & VALLEY ROAD<br>OCONOMOWOC, WI           |          |          |
| SHEET TITLE          | SITE LIGHTING PHOTOMETRIC PLAN                                  |          |          |
| PROJECT DESCRIPTION  | PABST FARMS APARTMENTS<br>OCONOMOWOC TECHNICAL REVIEW SUBMITTAL |          |          |
| DESIGNED BY          | AMB   | DRAWN BY | AMB      |
| CHECKED BY           | JRH   | DATE     |          |
| REVISION DESCRIPTION |   | NO.      |          |

**LEEDY & PETZOLD ASSOCIATES, LLC**  
CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
11046 W. BLUEHOUND ROAD  
WAUKESHA, WISCONSIN 53226  
PH: (262) 865-1544

# Clio

## CBM1701C

SOURCE: LED 4000K ± 150K, 70 CRI minimum\*  
 WATERPROOF RATING: IP67 optical system  
 Dark Sky friendly optical system

FIXTURE 'BV3'

LED code definition: 3 - 15W - 4K



# Bollards

CBM1701C/CBM1105C/CBM1154C/CBM1210C/CBM2112C

### Ordering Template

| MODEL    | LENS | DIST. | WATT | CT | VOLT | BASE  | OPTIONS | COLOR | TEXTURE | OP.FIN. |
|----------|------|-------|------|----|------|-------|---------|-------|---------|---------|
| CBM1701C | FGF  | 3     | 15W  | 3K | 120  | NONE  | NONE    | BK    | TX      | MG      |
| CBM1105C | CAC  | 5     | 25W  | 4K | 208  | BB1*  | PC†     | MA    | DG      |         |
| CBM1154C | CAP‡ |       | 30W  |    | 240  | BB2*  | GF§     | MA    | BZ      |         |
| CBM1210C |      |       | 35W  |    | 277  | BB3‡‡ |         | SI    | BG      |         |
| CBM2112C |      |       |      |    |      |       |         | SI    | BZ      |         |

\*FOR ALL BOLLARD EXCEPT CBM1701C  
 †AVAILABLE ONLY WITH CBM1701C  
 ‡OPTION PC AND GF NOT AVAILABLE WITH BB3  
 §OPTION NOT AVAILABLE FOR CBM1701C

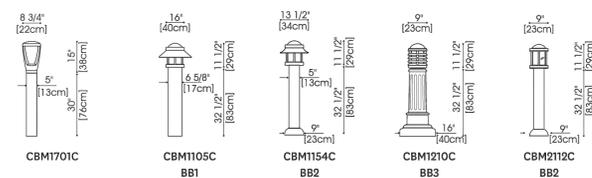
### ORDERING CODE

\_\_\_\_\_

### References

|  |   |                                  |   |
|--|---|----------------------------------|---|
| <b>LENS</b>                            | FGF FLAT GLASS FROST                      | <b>COLOR</b>                     | BK BLACK RAL5005                                      |
| CAC                                    | CLEAR CYLINDRICAL ACRYLIC GLOBE           | MT                               | METALLIC GRAPHITE TEXTURED ONLY (PROPRIETARY FORMULA) |
| CAP                                    | POND (DIFFUSED) CYLINDRICAL ACRYLIC GLOBE | DG                               | DARK GREEN RAL6012                                    |
| <b>DISTRIBUTION</b>                    |   | MA                               | MARINE BLUE RAL5013                                   |
| SEE PHOTOMETRIC PAGE FOR DETAILS       |   | SI                               | METALLIC SILVER RAL9006 (SMOOTH ONLY)                 |
| <b>WATT</b>                            |   | BZ                               | DARK BRONZE RAL8019                                   |
| SEE PHOTOMETRIC PAGE FOR LUMEN OUTPUT  |   | BG                               | BURGUNDY RAL3005                                      |
| <b>CCT</b>                             |   | GM                               | MOSS GREEN RAL6005                                    |
| 3K 3000K                               |   | PG                               | PALE GREY RAL7040                                     |
| 4K 4000K                               |   | WH                               | WHITE RAL9003   |
| <b>BASE</b>                            |   | <b>TEXTURE</b>                   |   |
| NONE NONE                              |   | TX                               | TEXTURED  |
| BB1 ROUND BASE                         |   | SM                               | SMOOTH  |
| BB2 ROUND BASE WITH BASE COVER         |   | <b>OP.FIN. (OPTIONAL FINISH)</b> |   |
| BB3 RIBBED BASE                        |   | MG                               | MARINE GRADE PRE-FINISH                               |
| <b>OPTIONS</b>                         |   |                                  |   |
| NONE NONE                              |   |                                  |   |
| PC BUTTON-TYPE PHOTOCELL               |   |                                  |   |
| GF GROUND FAULT INTERRUPTER RECEPTACLE |   |                                  |   |

### Luminaire



# Photometry

## CY55P1B

SOURCE: LED 4000K ± 150K, 70 CRI minimum\*  
 WATERPROOF RATING: IP67 optical system  
 Dark Sky friendly optical system  
 Data base on luminaire using FGC (Flat glass clear)

LED code definition:



# Pendant

CY55P1A / CY55P1B

### Ordering Template

| MODEL   | LENS | DIST. | WATT  | CCT | VOLT | ADAPTOR | OPTIONS | COLOR | TEXTURE | OP.FIN. |
|---------|------|-------|-------|-----|------|---------|---------|-------|---------|---------|
| CY55P1A | FGC  | 2     | 20W   | 3K  | 120  | NONE    | NONE    | BK    | TX      | MG      |
| CY55P1B | FGF  | 3     | 40W   | 4K  | 208  | ADV     | PC†‡‡   | MA    | DG      |         |
|         |      | 4     | 80W   |     | 240  |         | PTL†    | SI†   |         |         |
|         |      | 5     | 100W  |     | 277  |         | PTDR†‡  | BZ    |         |         |
|         |      | 2HS   | 120W  |     | 347  |         | PK†‡    | BG    |         |         |
|         |      | 3HS   | 140W† |     | 480  |         | PROG    | GM    |         |         |
|         |      | 3MHS  | 160W† |     |      |         | SD      | PG    |         |         |
|         |      | 4HS   | 200W† |     |      |         |         | WH    |         |         |

\*FOR CY55P1A ONLY  
 †FOR CY55P1B ONLY  
 ‡ONLY ONE OF THESE OPTION CAN BE CHOSEN  
 †NOT AVAILABLE FOR 480V

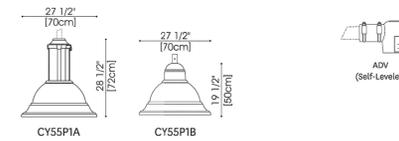
### ORDERING CODE

\_\_\_\_\_

### References

|  |                       |                                  |                                       |
|--|-----------------------|----------------------------------|---------------------------------------|
| <b>LENS</b>  | FGC FLAT GLASS CLEAR  | <b>COLOR</b>                     | BK BLACK RAL5005                      |
| FGF  | FLAT GLASS FROST      | DG                               | DARK GREEN RAL6012                    |
| <b>DISTRIBUTION</b>  |                       | MA                               | MARINE BLUE RAL5013                   |
| HS   | INTERNAL HOUSE SHIELD | SI                               | METALLIC SILVER RAL9006 (SMOOTH ONLY) |
| SEE PHOTOMETRIC PAGE FOR DETAILS   |                       | BZ                               | DARK BRONZE RAL8019                   |
| <b>CCT</b>   |                       | BG                               | BURGUNDY RAL3005                      |
| 3K 3000K   |                       | GM                               | MOSS GREEN RAL6005                    |
| 4K 4000K   |                       | PG                               | PALE GREY RAL7040                     |
| <b>WATT</b>  |                       | WH                               | WHITE RAL9003                         |
| SEE PHOTOMETRIC PAGE FOR LUMEN OUTPUT  |                       | <b>TEXTURE</b>                   |                                       |
| <b>ADAPTOR</b>   |                       | TX                               | TEXTURED                              |
| NONE FITS INTO Ø2" I.D. X MIN 4" LONG TENON                                      |                       | SM                               | SMOOTH                                |
| ADV SELF-LEVELING, SIDE MOUNT ADAPTOR FITS ONTO Ø2 3/8" O.D. X MIN 6" LONG TENON |                       | <b>OP.FIN. (OPTIONAL FINISH)</b> |                                       |
| <b>OPTIONS</b>   |                       | MG                               | MARINE GRADE PRE-FINISH               |
| NONE NONE  |                       |                                  |                                       |
| PC BUTTON-TYPE PHOTOCELL   |                       |                                  |                                       |
| PT PHOTOCELL W/7-PIN RECEPTACLE (ANSI C136.41)                                   |                       |                                  |                                       |
| PTL LONG LIFE PHOTOCELL W/7-PIN RECEPTACLE (ANSI C136.41)                        |                       |                                  |                                       |
| PTDR* 7-PIN RECEPTACLE (ANSI C136.41)  |                       |                                  |                                       |
| PK SHORTING CAP W/7-PIN RECEPTACLE (ANSI C136.41)                                |                       |                                  |                                       |
| PROG* PROGRAMMABLE DRIVER  |                       |                                  |                                       |
| SD† FIELD ADJUSTABLE 10% INCREMENT STEP-DIMMING SWITCH                           |                       |                                  |                                       |

### Luminaire



### Adaptors



# PROGRESS LIGHTING™

FIXTURE 'GB'

DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_

NAME: \_\_\_\_\_

PROJECT: \_\_\_\_\_



# Incandescent

## P5722-71 Brookside

Get inspired with vintage undertones reminiscent of early 20th century train depots. This indoor-outdoor lantern is aluminum with a textured Gilded Iron finish. One-Light 10" wall lantern.

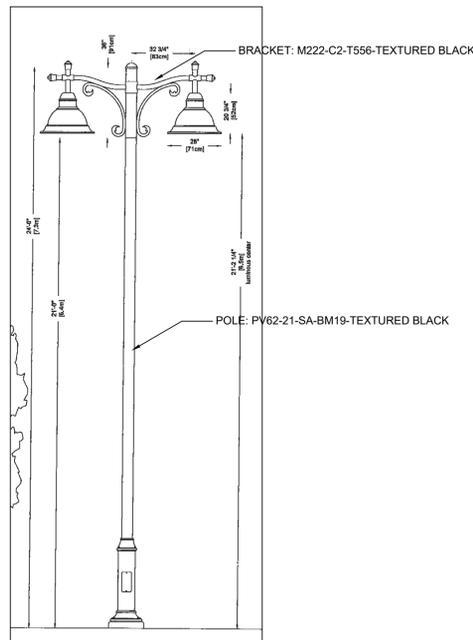
- Inspired by vintage light fixtures found in early 20th century train stations.
- Aluminum with a textured Gilded Iron finish.
- Double arm attachment for stability.

Width: 10"  
 Height: 10-3/4"  
 Depth: 11-9/16"  
 H/CTR: 6-1/2"

Category: Outdoor  
 Finish: Gilded Iron (painted)  
 Construction: Aluminum Construction

| MOUNTING  | ELECTRICAL          | LAMPING                  | ADDITIONAL INFORMATION     |
|---|---------------------|--------------------------|----------------------------|
| Wall mounted  | Pre-wired           | Quantity:                | cCSAus Wet location listed |
| Mounting strap for outlet box included                        | 6" of wire supplied | One 75w max. Medium Base | 1 year warranty            |
| Back plate covers a standard 4" octagonal recessed outlet box | 120 V               | E26 base ceramic socket  |                            |
| 4.8125" W, 1.1875" ht., 4.8125" depth                         |                     |                          |                            |

701 Millennium Blvd. Greenville, South Carolina 29607      www.progresslighting.com      Rev. 05/19



1 E300 NO SCALE

DESIGNED BY: AMB  
 DRAWN BY: AMB  
 CHECKED BY: JRH

LEEDY & PETZOLD ASSOCIATES, LLC  
 CONSULTING ELECTRICAL ENGINEERS/PLANNERS  
 11046 W. BLUEBOND ROAD  
 WAUKESHA, WISCONSIN 53226  
 PH: (262) 860-1544

PROJECT DESCRIPTION:  
 PABST FARMS APARTMENTS  
 OCONOMOWOC TECHNICAL REVIEW SUBMITTAL

PROJECT LOCATION:  
 OLD SCHOOL HOUSE ROAD & VALLEY ROAD  
 OCONOMOWOC, WI

SHEET NUMBER:  
 8226  
 DATE:  
 04/16/20

SHEET TITLE:  
 SITE FIXTURE CUTSHEETS & DETAILS

SHEET NUMBER:  
 E300